

LEAVENWORTH COUNTY PLANNING COMMISSION

Agenda for the Regular Meeting of 5:30 P.M., Wednesday, December 8, 2021
County Courthouse - 300 Walnut Street - Leavenworth, Kansas 66048
www.leavenworthcounty.gov

1. **Call to Order**

2. **Pledge of Allegiance**

3. **Roll Call**

4. **Approval of Minutes**

5. **Secretary's Report**

6. **Declarations: (if necessary)**

- A. Declarations of receipt of communications by Planning Commissioners
- B. Disclosure of ex-parte communications for each hearing item
- C. Declarations of abstention from specific agenda items by a Commissioner

7. **Approval of Agenda**

8. **Consent Agenda**

A. Case DEV-21-146/147 A&A Estates

Consideration of a Preliminary and Final Plat – A&A Estates on the following described property: A tract of land in the East Half of the Northwest Quarter of Fractional Section 3, Township 10 South, Range 23 East of the 6th P.M. in Leavenworth County, Kansas.
Also known as 24225 Wolcott Road (PID: 162-03-0-00-00-003.03)

B. Case DEV-21-164 High Prairie Pointe South

Consideration of a Preliminary Plat – High Prairie Pointe South on the following described property: A tract of land in the Southeast Quarter of Section 15, Township 12 South, Range 20 East of the 6th P.M. in Leavenworth County, Kansas.
Also known as 25800 Linwood Road (PID: 215-15-0-00-00-022.00)

C. Case DEV-21-176 Lee Chiles 3rd Addition

Consideration of a Preliminary Plat – Lee Chiles 3rd Addition on the following described property: All of Lot 1, Lee Chiles Subdivision, Phase 1, in Leavenworth County, Kansas AND a tract of land in the west ½ of the northeast quarter of Section 16, Township 11, Range 22 East of the 6th P.M., in Leavenworth County, Kansas.
Also known as 16985 Evans Rd & 17721 169th Street (PID: 185-16-0-00-00-020.00 & 185-16-0-00-00-012.00)

9. Regular Agenda

A. Case DEV-21-177/178 Roman Ridge Estates

Consideration of a Preliminary and Final Plat – Roman Ridge Estates on the following described property: A tract of land in the South Half of the Northeast Quarter of Section 7, Township 11, Range 21 East of the 6th P.M., in Leavenworth County, Kansas.

Also known as 23142 McLouth Road (PID: 193-07-0-00-00-009.00)

B. Case DEV-21-169 (Happy Trails Kennel)

Consideration of an application for a Special Use Permit for a Dog Kennel on the following described property: The North Half of the North Half of the Northwest Quarter of Section 20, Township 10 South, Range 21 East of the 6th P.M, in Leavenworth County, Kansas.

Also known as 21918 227th Street (PID: 144-20-0-00-00-002.02))

*****Public Hearing Required*****

*****Public Comment limited to three minutes per person*****

C. Case DEV-21-175 (Rezone Request RR-5 to RR-2.5)

Consideration of a rezone request from RR-5 Zoning District to the RR-2.5 Zoning District on a tract of land in the Northwest Quarter of Section 10, Township 9 South, Range 21 East of the 6th P.M., in Leavenworth County, Kansas.

Also known as 28181 207th Street (PID: 112-10-0-00-00-004.00)

*****Public Hearing Required*****

*****Public Comment limited to three minutes per person*****

D. Case DEV-21-174 Language Amendment (Article 3, 27 (C), & 41)

Consideration of a text amendment to Article 3, 27(C) and 41 of the Leavenworth County Zoning and Subdivision Regulations.

*****Public Hearing Required*****

*****Public Comment limited to three minutes per person*****

E. Case DEV-21-168 Sign Permit Kane Family Farm

Consideration of an application for a Sign Permit for Kane Family Farm on the following described property: A tract of land in Section 17, Township 11 South, Range 21 East of the 6th P.M. in Leavenworth County, Kansas.

Also known as 17791 Chieftain Road (PID: 194-17-0-00-00-006.00)

Upcoming meeting dates:

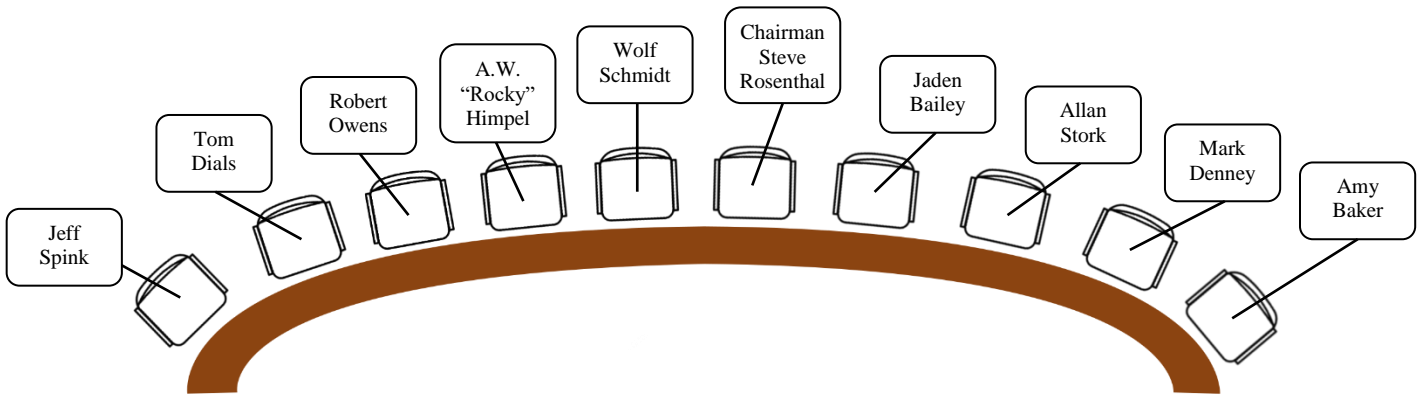
- **Wednesday, January 12, 2022, 5:30 PM**
Regular Planning Commission Meeting

For More Information

If you have any questions or need to make special arrangements for a meeting,
please call or stop by the Planning and Zoning Department.

Contact Stephanie Sloop – 913-684-0465

Planning Commission Seating Chart 2021



Leavenworth County Planning Commission

Case Map
December 8th, 2021

Legend

- RR-2.5
- RR-5
- B-1; B-2; B-3
- I-1; I-2; I-3
- PUD; R-1; R-1(15); R-1(43); R-2

DEV-21-175
Rezone Hyde
RR-5 to RR-2.5

DEV-21-169
Special Use Permit
Happy Trails Kennel

DEV-21-146 & 147
Prelim & Final Plat
Burr Oak Estates

DEV-21-177 & 178
Prelim & Final Plat
Roman Ridge Estates

DEV-21-1476
Prelim Plat
Lee Chiles 3rd Plat

DEV-21-168
Sign Permit
Kane Family Farm

DEV-21-164
Prelim Plat
High Prairie Pointe South



**LEAVENWORTH COUNTY PLANNING COMMISSION
MINUTES OF THE REGULAR MEETING
November 10, 2021**

The full recorded meeting can be found on the County's YouTube channel.

Meeting called to order at 5:30 pm

Pledge of Allegiance

Oath of Office New Members

Members present: Steve Rosenthal, Mark Denney, Jeff Spink, Amy Baker, Tom Dials, Alan Stork, Rocky Himpel, and Jaden Bailey

Members absent: Robert Owens and Wolf Schmidt

Staff present: Amy Allison-Deputy Director, Stephanie Sloop-Planning Coordinator, Joshua Gentzler-Planner, David Van Parys-Senior County Counselor

Minutes:

Commissioner Denney made a motion to approve the October Minutes. Commissioner Dials seconded that motion.

ROLL CALL VOTE - Motion to approve passed, 6/0 (1 abstain, 2 absent)

Secretary's Report:

Amy Allison gave the secretary's report, going over the consent agenda and regular agenda.

Commissioner Himpel stated he would abstain from the Harman Farms Plat. Commissioner Dials stated that he would abstain from the CW Lawns request. Commissioner Himpel made a motion to approve the agenda. Commissioner Dials seconded the motion.

ROLL CALL VOTE - Motion to approve passed, 7/0 (2 absent)

Case DEV-21-130 Vacation of Pierce Division Lot 7

Consideration of an application for a Vacation of a Public Drainage Easement. The Vacation request is for the following described property: Lot 7 of Pierce Division in Leavenworth County, Kansas.

Also known as 00000 Stillwell Road

Josh Gentzler went over the nature of this request.

The public hearing was open and closed without public comment.

Commissioner Himpel made a motion to approve the request. Commissioner Baker seconded the motion.

ROLL CALL VOTE Motion passed, 7/0 (1 absent)

Case DEV-21-161 & 162 Preliminary and Final Plat Grey's Corner

Consideration of a Preliminary and Final Plat – Grey's Corner on the following described property: A tract of land in the south ½ of the southwest ¼ of Section 33, Township 9 South, Range 22 East, more fully described as follows: Beginning at the southwest corner of said southwest ¼, thence north 00 degrees 00'00" east for a distance of 330.74 feet along the west line of said southwest ¼, thence north 89 degrees 14' 43" east for a distance of 662.76, then south 00 degree 00' 57" west for a distance of 331.02 feet to the south line of said southwest ¼, thence south 89 degrees 16' 10" west for a distance of 662.67 feet along said south line to the point of beginning, in Leavenworth County, Kansas.

Also known as 24450 171st Street

Amy Allison presented the facts and findings for the above request, a two-lot subdivision.

Chairman Rosenthal asked the applicant if they wished to speak. Mr. Herring, Herring Surveying came forward to answer any questions or concerns.

With no further questions or discussion, Chairman Rosenthal asked for a motion.

Commissioner Stork made a motion to approve DEV-21-161 & 162. Commissioner Himpel seconded the motion.

ROLL CALL VOTE - Motion to approve passed, 5/2 (2 absent)

(Commissioner Denney and Dials recommended denial due to the man-made nature of the exceptions.)

The Board of County Commissioners will consider this item no earlier than **November 24, 2021 at 9:00 A.M** in the Leavenworth County Courthouse.

Commissioner Himpel abstained from this portion of the meeting.

Case DEV-21-163 Harman Farms Replat

Consideration of a replat of lots within the Harman Farms Subdivision. The Replat request is for the following described property: Lots 6, 7, & 8 of Harman farms in Leavenworth County, Kansas.

Also known as 22398 Honey Creek Road

Josh Gentzler presented the facts and findings for the above request.

Chairman Rosenthal asked the applicant if they wished to speak. Mr. Herring, Herring Survey came forward to answer questions about the request and to explain the nature of this request. Rosenthal asked staff about the timing of annexation and requiring the property to hook up to City Water and Sewer. Mr. Gentzler replied that those actions would take place during the development of the properties.

With no further questions or discussion, Chairman Rosenthal asked for a motion.

Commissioner Stork made a motion to approve DEV-21-163, Commissioner Dials seconded the motion.

ROLL CALL VOTE - Motion to approved passed, 6/0 (1 abstain, 2 absent)

The Board of County Commissioners will consider this item no earlier than **November 24, 2021 at 9:00 A.M** in the Leavenworth County Courthouse.

Case DEV-21-160 Forever Fencing

Consideration of an application for a Special Use Permit for a Contractor's Yard on the following described property: A tract of land in the Northwest Quarter of Section 27, Township 10 South, Range 20 East of the 6th P.M, in Leavenworth County, Kansas.

Also known as 25701 Donahoo Road

*****Public Hearing Required*****

*****Public Comment limited to three minutes per person*****

Josh Gentzler presented the facts and findings for the above request. Mr. Gentzler let the Commission know that staff's recommendation of this request was for denial.

Chairman Rosenthal opened the public portion of the hearing and asked the applicant if they wished to speak. The applicant, along with their attorney came forward to address the Commission. A letter of support was read into record. It was stated that the applicant agreed to the conditions of this Special Use Permit in the event the request is approved.

Chairman Rosenthal asked if there was anyone that wished to speak in support of the request. Chairman Rosenthal asked if there was anyone wishing to speak in opposition. Chairman Rosenthal closed the public portion of the hearing.

Chairman Rosenthal said if there was no further discussion he would accept a motion.

Commissioner Stork made a motion to approve DEV-21-160. Commissioner Bailey seconded the motion.

ROLL CALL VOTE - Motion to approve passed, 5/2 (2 absent)

(Commissioner Baker voted no because it does not match the Future Land Use Plan and Comprehensive Plan. Commissioner Himpel voted no because of the timeline of them complying)

The Board of County Commissioners will consider this item no earlier than **December 1, 2021 at 9:00 A.M** in the Leavenworth County Courthouse.

Any person wishing to file a protest petition must contact the Planning & Zoning Office. Protest petitions must be filed with Leavenworth County within two weeks of this meeting.

Commissioner Dials abstained from this portion of the meeting.

Case DEV-21-165 CW Lawns

Consideration of an application for a Special Use Permit for a Landscaping, Lawn Care, Lawn Maintenance, Snow Removal, and Related Business on the following described property: A tract of land in the Southeast corner of the Southeast Quarter of Section 33, Township 9 South, Range 22 East of the 6th P.M, in Leavenworth County, Kansas.

Also known as 24619 163rd Street

*****Public Hearing Required*****

*****Public Comment limited to three minutes per person*****

Amy Allison presented the facts and findings for the above request. Mrs. Allison let the Commission know that staff's recommendation of this request was for denial based on the Future Land Use Map.

County Counselor addressed the Commission letting them know they might see a change in the renewal process in the near future.

Chairman Rosenthal opened the public portion of the hearing and asked the applicant if they wished to speak. The applicant came forward to address the Commission.

Chairman Rosenthal asked if there was anyone that wished to speak in support of the request. Chairman Rosenthal asked if there was anyone wishing to speak in opposition. Chairman Rosenthal closed the public portion of the hearing.

Chairman Rosenthal said if there was no further discussion he would accept a motion.

Commissioner Himpel made a motion to approve DEV-21-165. Commissioner Baker seconded the motion.

ROLL CALL VOTE - Motion to approve passed, 6/0 (1 abstain, 2 absent)

The Board of County Commissioners will consider this item no earlier than **December 1, 2021 at 9:00 A.M** in the Leavenworth County Courthouse.

Any person wishing to file a protest petition must contact the Planning & Zoning Office. Protest petitions must be filed with Leavenworth County within two weeks of this meeting.

Case DEV-21-148 Rezoning Request from RR-5 to RR-2.5

Consideration of a rezone request from RR-5 Zoning District to the RR-2.5 Zoning District on a tract of land in the Northwest Quarter of the Southwest Quarter of Section 13, Township 12 South, Range 20 East of the 6th P.M., in Leavenworth County, Kansas.

Also known as 00000 246th Street

*****Public Hearing Required*****

*****Public Comment limited to three minutes per person*****

Joshua Gentzler presented the facts and findings for the above request.

Chairman Rosenthal opened the public portion of the hearing and asked the applicant if they wished to speak. The applicant came forward to address the Commission, explaining the nature of his request.

Chairman Rosenthal asked if there was anyone that wished to speak in support of the request. Chairman Rosenthal asked if there was anyone wishing to speak in opposition. A neighboring property owner came forward to ask clarifying questions. Chairman Rosenthal closed the public portion of the hearing.

Chairman Rosenthal said if there was no further discussion he would accept a motion.

Commissioner Himpel made a motion to approve DEV-21-148. Commissioner Dials seconded the motion.

ROLL CALL VOTE - Motion to approve passed 7/0 (2 absent)

The Board of County Commissioners will consider this item no earlier than **December 1, 2021 at 9:00 A.M** in the Leavenworth County Courthouse.

Any person wishing to file a protest petition must contact the Planning & Zoning Office. Protest petitions must be filed with Leavenworth County within two weeks of this meeting.

Case DEV-21-155 Rezoning Request from B-2 to B-3

Consideration of a rezone request from B-2 Zoning District to the B-3 Zoning District of Lot 3, Block 2, Hill Estates, in Leavenworth County, Kansas.

Also known as 17800 State Avenue

*****Public Hearing Required*****

*****Public Comment limited to three minutes per person*****

Amy Allison presented the facts and findings for the above request.

County Counselor addressed the Planning Commission letting them know the history of past development on this parcel.

Chairman Rosenthal opened the public portion of the hearing and asked the applicant if they wished to speak. Mr. Herring came forward to address the Commission, explaining the nature of his request.

Chairman Rosenthal asked if there was anyone that wished to speak in support of the request. Chairman Rosenthal asked if there was anyone wishing to speak in opposition. Chairman Rosenthal closed the public portion of the hearing.

Chairman Rosenthal said if there was no further discussion he would accept a motion.

Commissioner Himpel made a motion to approve DEV-21-155. Commissioner Baker seconded the motion.

ROLL CALL VOTE - Motion to approve passed 7/0 (2 absent)

The Board of County Commissioners will consider this item no earlier than **December 1, 2021 at 9:00 A.M** in the Leavenworth County Courthouse.

Any person wishing to file a protest petition must contact the Planning & Zoning Office. Protest petitions must be filed with Leavenworth County within two weeks of this meeting.

Planning Commission adjourned at 7:06 PM

*****Consent Agenda*****
Case No. DEV-21-146/147
A&A Estates
Preliminary and Final Plat

Staff Report – Planning Commission

December 8, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** Francisco Arroyo
P.O. Box 55
Lansing, KS 66043

Agent: Hahn Surveying Company
P.O. Box 186
Basehor, KS 66007

Legal Description: A tract of land in the Northwest Quarter of Section 3, Township 10 South, Range 23 East of the 6th P.M, in Leavenworth County, Kansas.

Parcel Size: ± 22.0 acres

Zoning/Land Use: RR-2.5, Rural Residential 2.5-acre minimum size parcels

Comprehensive Plan: This parcel is within the Residential (3 Units per Acre) land use category.

Parcel ID No.: 162-03-0-00-00-014.00

Planner: Joshua Gentzler

REPORT:

Request

The applicant is requesting a Preliminary and Final Plat for a two-lot subdivision.

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 11 acres to 86 acres in size.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C0275G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Fire District 1
Water: Consolidated Water District #1
Electric: Evergy

Access/Streets

The property is accessed by Wolcott Road/K-5. This road is a State Highway with a paved surface ± 24' wide.

Agency Comments

See attached comments – Email – Mitch Pleak – Public Works, November 15, 2021
See attached comments – Email – Mike Bogina – County Surveyor Reviewer, November 10, 2021
See attached comments – Email – Mike Fulkerson – Cons. Water Dist. #1, September 2, 2021
See attached comments – Email – Tyler Rebel – Evergy, August 31, 2021

Findings

1. The proposed subdivision is consistent with the zoning district of RR 2.5; Rural Residential Zoning 2.5-acre minimum size parcels.
2. The property is not within a sewer district boundary or is within 660 feet of the incorporated limits of a municipality; therefore, a waiver to the requirement of allowing private septic systems is supported by staff. A private sewage disposal permit may be issued per Leavenworth County Sanitary Code requirements.
3. At time of development, fire hydrants shall be required if necessary infrastructure is available.
4. The proposed subdivision is in accordance with the Comprehensive Plan.

Subdivision Classification

This is classified as a Class "C" Subdivision. According to the Leavenworth County Zoning & Subdivision regulations, a Class "C" Subdivision is any subdivision in which all the lots lie within the Rural Growth Area of Leavenworth County.

Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision. (See condition 4.)

Staff Comments

The applicant is requesting the approval of a two-lot plat for property with access from Wolcott Road/K-5. Lot 1 is 12 acres in size while Lot 2 is 10 acres in size. The plats lot lines do not meet the Zoning and Subdivision Regulations (ZSR) requirements found in Article 50 and will require an exception be granted to allow the division of the land.

Lot 1 has 903' of road frontage along K-5/ Wolcott Road and is 1324' deep, while Lot 2 has 895' of road frontage and is 965' deep.

Due to the location and orientation of the property toward K-5/Wolcott Road, which is curved at this location, the proposed layout is orderly. A strict application of ZSR 50.43.3.d would result in a poor lot layout. Staff is generally supportive of the proposed layout as it would result in the best division of the land in this situation.

STAFF RECOMMENDATION:

The staff recommends approval of Case No. DEV-21-146 & 147, Preliminary and Final Plat for A&A Estates, with the following conditions:

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
3. The applicant shall adhere to the following memorandums:
 - a. Consolidated Water District #1, September 2, 2021
4. A waiver for the use of private septic systems within this subdivision is granted with this approval.
5. At time of development, fire hydrants shall be required if necessary infrastructure is available.
6. An exception from ZSR 50.40.3.d shall be granted to allow for lot lines for that are not 90° from the street right-of-way.
7. After approval of this subdivision by the Board of County Commission, all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days.

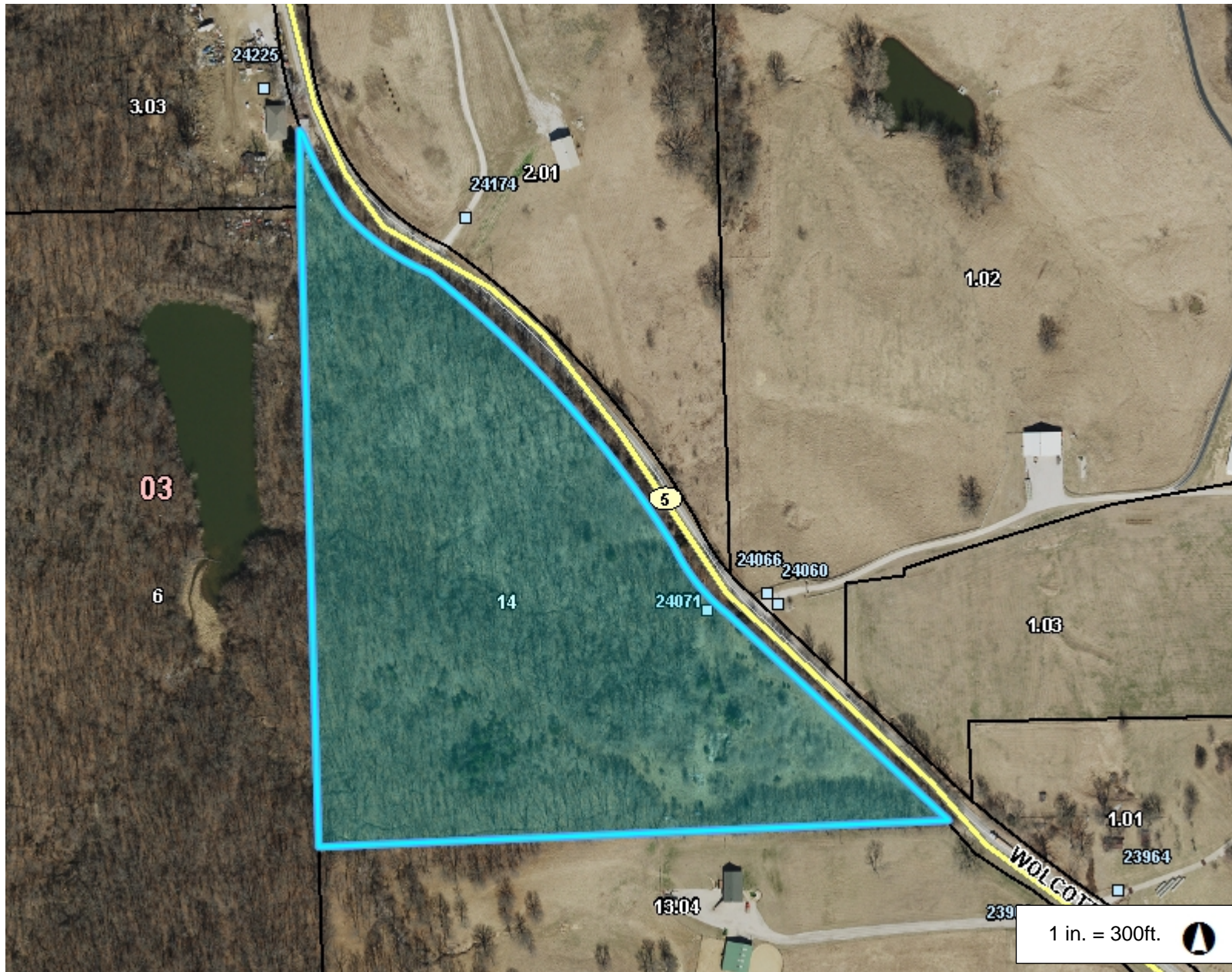
ACTION OPTIONS:

1. Recommend approval of Case No. DEV-21-146 & 147, Preliminary and Final Plat for A&A Estates, to the Board of County Commission, with or without conditions; or
2. Recommend denial of Case No. DEV-21-146 & 147, Preliminary and Final Plat for A&A Estates, to the Board of County Commission for the following reasons; or
3. Continue the hearing to another date, time, and place.

ATTACHMENTS:

Aerial Map
Memorandums
Preliminary and Final Plat

DEV-21-146 & 147 A&A Estates



Legend

- Address Point
- Parcel Number
- Parcel
- City Limit Line
- Major Road
- <all other values>
- 70
- Road
- + Railroad
- Section
- Section Boundaries
- County Boundary

1 in. = 300ft.



600.0 0 300.00 600.0 Feet

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

A&A Estates
Leavenworth County Kansas
Drainage Report
August 26, 2021
Revised September 18, 2021



Parcel Information - The 22.26-acre (+/-) parcel is located on the west side of K-5 highway north of the county line. The property is zoned RR 2.5.

Existing Conditions – The property is heavily wooded with steep slopes. There is an existing building foundation located on Lot #2. The site can be divided into multiple drainage areas as shown on exhibit #1.

A c value was calculated for the drainage area as shown in the table below. The c value is based on the soil type, slopes, and existing land use, see Exhibits #2 and #2.

Existing	c value	Acres in each Drainage Area		
		DA #1	DA #2	
Wooded	0.50	9.30	2.75	
Impervious	0.90	0.00	0.02	
Composite c		0.50	0.50	

$$\text{composite c} = \frac{(\text{Wooded Acres} * 0.50 + \text{Impervious Acres} * 0.90)}{\text{Total Acres}}$$

Developed Conditions – The proposed development will create two residential building lots. The new homes are assumed to be located as shown on exhibit #1. It is assumed that the house on Lot 2 will be constructed on the existing foundation. A composite c value was calculated for the drainage areas as shown in the table below. The composite c value is based on the soil type, slopes, and land use, see Exhibits #2 and #3. The developed storm water runoff calculations include 10,000 sq ft of impervious area for the new building lots. This impervious area will account for the driveway, house footprint, and outbuilding. It is assumed that two acres in each drainage area will be cleared of trees and maintained as a lawn. A composite c value for the drainage area was calculated as shown below.

Developed	c value	Acres in each Drainage Area		
		DA #1	DA #2	DA #3
Wooded	0.50	7.07	0.54	
Impervious	0.90	0.23	0.23	
Grass	0.30	2.00	2.00	
Composite c		0.47	0.39	

$$\text{composite } c = \frac{(\text{Wooded Acres} * 0.50 + \text{Impervious Acres} * 0.90 + \text{Grass Acres} * 0.30)}{\text{Total Acres}}$$

The storm water runoff for existing and developed conditions is summarized in the following tables. Calculations for the storm water runoff are included with the report.

DA #1

	Q10	Q100
Existing	29.4	51.9
Developed	27.1	47.8
Change	-8%	-8%

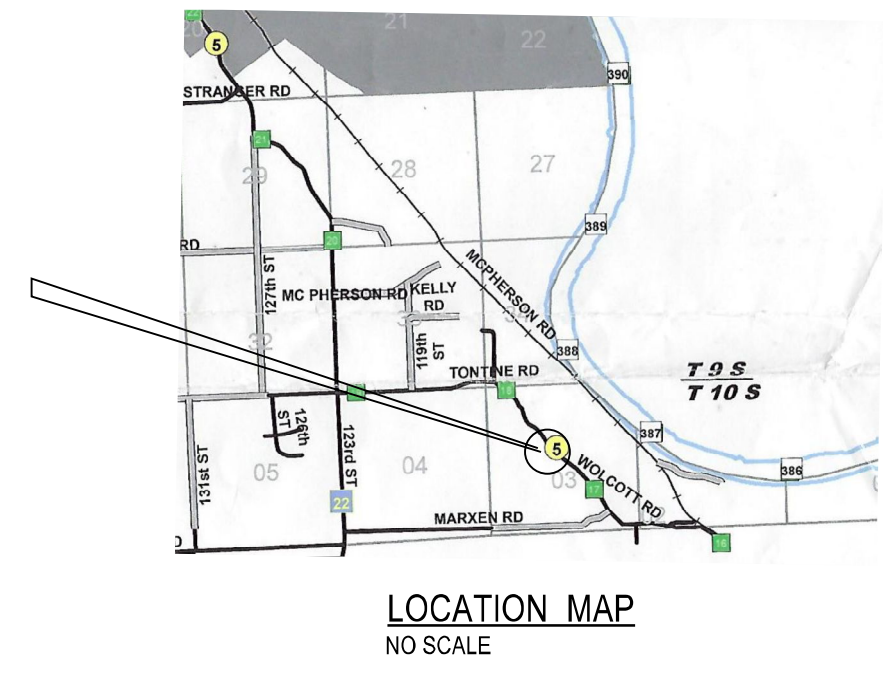
DA #2

	Q10	Q100
Existing	9.1	16.0
Developed	6.7	11.8
Change	-26%	-26%

Conclusion – The change in land use for this parcel of ground results in a decrease in storm water runoff from the site.

A SUBDIVISION IN THE EAST HALF OF THE NORTHWEST QUARTER FRACTIONAL SECTION 3-T10S-R23E OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS

PRELIMINARY PLAT



REFERENCE:
1. RHODES SURVEY, JOB #99065
SHEETS 2, 4, 8 AND 9
(7-21-2000)
2. SURVEY - DOC. #2007S003

N 1/4 CORNER OF NW 1/4 OF 3-T10S-R23E (14A)
1/2" REBAR WITH #533 CAP (REF. #1)
1. E 10.90 TO PK NAIL IN 14" ELM
2. S 14.50 +/- TO EAST-WEST FENCE
3. SW 21.80 TO 1/2" REBAR
4. W 13.00 +/- TO FENCE RUNNING SOUTH

"UNPLATTED TRACT"
PN. 162-03-0-00-00-03.03-0
OWNER:
FRANCISCO ARROYO
24225 WOLCOTT DRIVE
KANSAS CITY, KS. 661090

CENTER OF NW 1/4 3-T10S-R23E (14B)
1/2" REBAR WITH #533 CAP (REF. #1)
1. SSW 16.00 TO PK NAIL IN GATE POST
2. SW 18.50 TO CENTER OF 3" STEEL FENCE CORNER POST
3. WSW 13.50 TO PK NAIL IN TREE- IN NORTH-SOUTH FENCE

"UNPLATTED TRACT"
PN. 162-03-0-00-00-02.01-0
OWNER:
JUAN * HEIDI LULLOA
24174 WOLCOTT DRIVE
KANSAS CITY, KS. 661090

- LEGEND**
- 1/2" x 24" REBAR SET WITH #1349 CAP
 - SURVEY MONUMENT FOUND (AS NOTED)
 - ◐ 1/2" x 24" REBAR SET WITH #1349 CAP IN CONCRETE
 - ◑ FOUND 1/2" REBAR WITH #533 CAP - ADDED CONCRETE
 - U/E UTILITY EASEMENT - DEDICATED THIS PLAT
 - POB POINT OF BEGINNING
 - POC POINT OF COMMENCING

OWNER / DEVELOPER
FRANCISCO R. ARROYO
PO BOX 55
LANSING, KANSAS 66043
(913) 306-8468

DEED DESCRIPTION - BOOK 948, PAGE 1332
A TRACT OF LAND IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 3, TOWNSHIP 10, RANGE 23, LEAVENWORTH COUNTY, KANSAS, DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 3; BEGINS AT THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 3; THENCE WEST ALONG THE EAST AND WEST CENTERLINE OF SAID SECTION 3, A DISTANCE OF 1321.25 FEET; THENCE NORTH ALONG THE DIVISION LINE BETWEEN THE EAST 1/2 AND THE WEST 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION 3, A DISTANCE OF 1572 FEET TO THE CENTER OF STATE HIGHWAY NO. 5, THENCE SOUTHEASTERLY ALONG THE CENTER OF SAID HIGHWAY NO. 5 TO THE POINT OF BEGINNING, LESS ANY PART THEREOF TAKEN OR USED FOR ROAD OR HIGHWAY PURPOSES.

SURVEYORS DESCRIPTION
A TRACT OF LAND IN THE EAST HALF OF THE NORTHWEST QUARTER OF FRACTIONAL SECTION 3-T10S-R23E OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS, DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 3; THENCE N 88°19'05"E, 1308.03 FEET ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER TO THE SOUTHWEST CORNER OF THE EAST HALF OF SAID NORTHWEST QUARTER AND THE POINT OF BEGINNING OF THIS TRACT; THENCE N 01°56'20"W, 1580.41 FEET (MEASURED), 1572.00 FEET (DEEDED) ALONG THE WEST LINE OF THE EAST HALF OF SAID NORTHWEST QUARTER TO THE CENTERLINE OF STATE HIGHWAY #5 (WOLCOTT ROAD); THENCE S 12°50'02"E, 107.76 FEET ALONG SAID CENTERLINE; THENCE S 32°06'09"E, 221.68 FEET ALONG SAID CENTERLINE; THENCE S 54°15'09"E, 341.92 FEET ALONG SAID CENTERLINE; THENCE S 43°12'42"E, 361.64 FEET ALONG SAID CENTERLINE; THENCE S 33°15'22"E, 364.61 FEET ALONG SAID CENTERLINE; THENCE S 45°49'45"E, 688.91 FEET ALONG SAID CENTERLINE TO THE CENTER OF SECTION 3; THENCE S 88°19'05"W, 1308.03 FEET ALONG THE SOUTH LINE OF SAID NORTHWEST TO THE POINT OF BEGINNING. CONTAINS 22.28 ACRES, MORE OR LESS, INCLUDING ROAD RIGHT OF WAY. AS SURVEYED BY LARRY T. HAHN, LS #1349, AUGUST, 2021.

- RESTRICTIONS**
1. 40' REAR SETBACK FOR RESIDENCES
 - 15' REAR SETBACK FOR ACCESSORY BUILDINGS
 - 15' SIDE SETBACK
 2. AN ENGINEERED WASTEWATER DISPOSAL MAY BE REQUIRED DUE TO POOR SOIL CONDITIONS.
 3. EROSION CONTROL SHALL BE USED WHEN DESIGNING AND CONSTRUCTING DRIVEWAYS.
 4. A FORM OF SEDIMENT CONTROL SHALL BE INSTALLED BEFORE WORK BEGINS AND MAINTAINED THROUGHOUT THE TIME THAT THE LAND DISTURBING ACTIVITIES ARE TAKING PLACE.
 5. RE-VEGETATION OF ALL DISTURBED SITES SHALL BE COMPLETED WITHIN 45 DAYS AFTER COMPLETION OF FINAL GRADING, WEATHER PERMITTING.
 6. LOTS ARE SUBJECT TO THE CURRENT ACCESS MANAGEMENT POLICY RESOLUTION.

- NOTES**
1. FENCE LINES DO NOT DENOTE PROPERTY LINES.
 2. LEAVENWORTH COUNTY, KANSAS, DOES NOT REPRESENT, WARRANT OR GUARANTEE THAT THE DETAILS SHOWN ON THIS DOCUMENT AND PROVIDED BY THE APPLICANT OR AGENT OF APPLICANT, INCLUDING ANY SURVEY INFORMATION SHOULD BE RELIED UPON BY ANY THIRD PARTY AS BEING WHOLLY OR PARTIALLY ACCURATE AND COMPLETE.
 3. EXISTING USE OF AREA BEING PLATTED - AGRICULTURAL PROPOSED USE - RESIDENTIAL / AGRICULTURAL
 4. THIS PLAT IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA
 5. O & E REPORT BY SECURED TITLE OF KANSAS CITY - WYANDOTTE NO. SKC 0066987 (JULY 29, 2021)

DRAINAGE CALCULATIONS
ON SEPARATE DOCUMENT BY DAVID LUTGEN, PE

BENCHMARK
1/2" REBAR WITH #533 CAP AT THE CENTER OF SECTION 3-T10S-R23E
EL. 875.33 (NAVD 88)

ZONING
RR - 250
EXISTING USE OF AREA BEING PLATTED - AGRICULTURAL
PROPOSED USE - AGRICULTURAL / RESIDENTIAL

ROAD INFORMATION
WOLCOTT DRIVE IS 24' WIDE WITH ASPHALT SURFACE (STATE HIGHWAY)

PUBLIC IMPROVEMENT
NONE

UTILITIES
ELECTRIC / EVERGY
WATER / R.W.D. #1 CON.
GAS / PRIVATE PROPANE
SEWAGE / PRIVATE ON SITE SYSTEM
TELEPHONE / AT&T

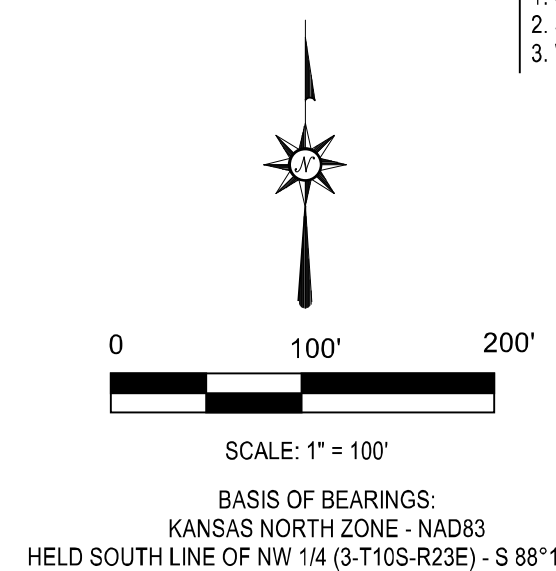
"UNPLATTED TRACT"
PN. 162-03-0-00-00-01.01-0
OWNER:
CONSTANCE DJAJICH, TRUST
23964 WOLCOTT DRIVE
KANSAS CITY, KS. 661090

"UNPLATTED TRACT"
PN. 162-03-0-00-00-01.03-0
OWNER:
DAVID & CYNTHIA SNODGRASS
24060 WOLCOTT DRIVE
KANSAS CITY, KS. 661090

"UNPLATTED TRACT"
PN. 162-03-0-00-00-01.02-0
OWNER:
RYAN & AMY TROTNIC
24066 WOLCOTT DRIVE
KANSAS CITY, KS. 661090

NOTE:
NO MONUMENTS SET ON HIGHWAY CENTERLINE.
MONUMENTS SET ON 33' R/W.

CENTERLINE (66' R/W)
KANSAS STATE HIGHWAY #5
(WOLCOTT DRIVE)
ROAD RECORD
B - 190 (1868)



(TRAVERSE SUMMARY)
LOT #1
HORIZONTAL DISTANCE: 4158.77 FEET
AREA: 533,415.12 SQ. FT. / 12.25 ACRES
RELATIVE: 1:903,704 LINEAR: 0.005 FEET DIRECTION: S 59°42'34\"/>

(TRAVERSE SUMMARY)
LOT #2
HORIZONTAL DISTANCE: 2914.53 FEET
AREA: 435,985.84 SQ. FT. / 10.01 ACRES
RELATIVE: 1:724,176 LINEAR: 0.004 FEET DIRECTION: N 88°36'24\"/>

W 1/4 CORNER 3-T10S-R23E (13C)
1/2" REBAR WITH #1296 CAP (REF. #2)
1. SW 12.66 TO 40D NAIL IN 12" OAK
2. N 11.92 TO 40D NAIL IN 10" OAK
3. E 6.44 TO 40D NAIL IN 12" OAK
4. W 15' +/- TO NORTH-SOUTH FENCE

CENTER 3-T10S-R23E (15C)
1/2" REBAR WITH #533 CAP (REF. #1)
1. N 24.85 TO 1/2" REBAR ON SHOULDER
2. E 46.67 TO 40D NAIL WITH WASHER IN 12" ELM
3. SSE 64.90 TO 40D NAIL WITH WASHER IN 16" HEDGE
4. W 35.92 TO 40D NAIL WITH WASHER IN 36" HACKBERRY

"UNPLATTED TRACT"
PN. 162-03-0-00-00-013.04-0
OWNER:
DAN & SHERRIN BECKERDITE
23961 WOLCOTT DRIVE
KANSAS CITY, KS. 661090

LARRY T. HAHN, LS #1349

THIS IS TO CERTIFY THAT IN THE MONTH OF AUGUST, 2021, THIS SURVEY WAS MADE UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE "KANSAS MINIMUM STANDARDS" FOR BOUNDARY SURVEYS PURSUANT TO K.S.A. 74-7037.

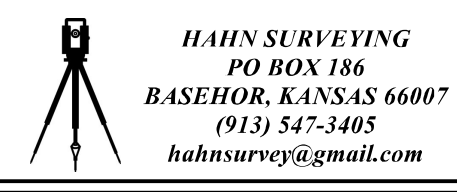


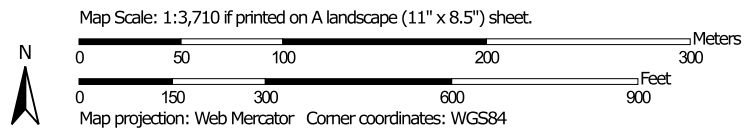
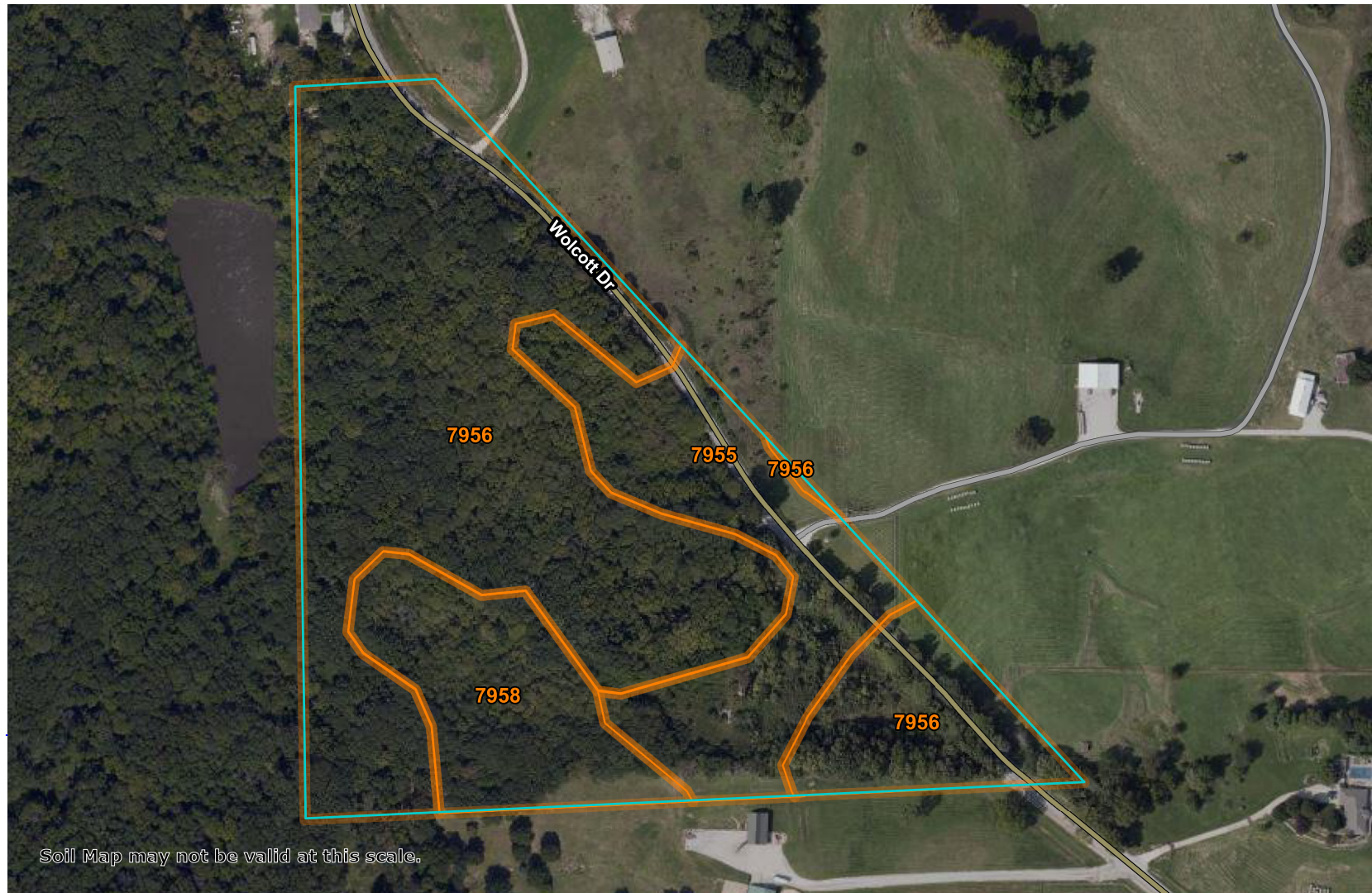
TABLE 1 Values of Runoff Coefficient C

<u>URBAN AREAS:</u>	
<u>Type of drainage area</u>	Runoff coefficient C
Lawns:	0.05 - 0.10
Sandy soil, flat 2%	0.10 - 0.15
Sandy soil, average, 2 - 7%	0.15 - 0.20
Sandy soil, steep, 7%	0.13-0.17
Heavy soil, flat, 2%	0.18 - 0.22
Heavy soil, average, 2 - 7%	0.25 - 0.35
Heavy soil, steep, 7%	
Business:	0.70 - 0.95
Downtown areas Neighborhood areas	0.50.0.70
Residential:	0.30 - 0.50
Single-family areas	0.40 - 0.60
Multi units, detached Multi units,	0.60 - 0.75
attached Suburban	0.25 - 0.40
Apartment dwelling areas	0.50 - 0.70
Industrial:	
Light areas	0.50 - 0.80
Heavy areas	0.60 - 0.90
Parks, cemeteries	0.10 - 0.25
Playgrounds	0.20 - 0.35
Railroad yard areas	0.20 - 0.40
Unimproved areas	0.10 - 0.30
Streets:	0.70 - 0.95
Asphaltic	0.80 - 0.95
Concrete	0.70 - 0.85
Brick	
Drives and walks	0.75 - 0.85
Roofs	0.75 - 0.95

AGRICULTURAL AREAS:

Topography and Vegetation	<u>Runoff Coefficient C Soil Texture</u>		
	Soil Texture		
	Open Sandy Loam	Clay and Silt Loam	Tight Clay
Woodland			
Flat 0 - 5% Slope	0.10	0.30	0.40
Rolling 5 - 10% Slope	0.25	0.35	0.50
Hilly 10 - 30% Slope	0.30	0.50	0.60
Pasture	0.10	0.30	0.40
Flat	0.16	0.36	0.55
Rolling	0.22	0.42	0.60
Hilly			
Cultivated			
Flat	0.30	0.50	0.60
Rolling	0.40	0.60	0.70
Hilly	0.52	0.72	0.82

Source - *Natural Resources Conservation Service (NRCS) US Department of Agriculture (USDA) Peak Discharge Course*
https://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/stelprdb1083019.pdf



Map Unit Symbol	Map Unit Name
7955	Knox silt loam, 7 to 12 percent slopes
7956	Knox silt loam, 12 to 18 percent slopes
7958	Knox silty clay loam, 7 to 12 percent slopes, eroded

Drainage Area #1- 10 year

Existing Conditions

Area = 9.3 acres
C= 0.50
L= 960
S= 17.0
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 7.3$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 1.60$$

$$T_c = 8.9$$

$$i_{10} = 6.32$$

$$Q = KCiA$$

$$Q = 29.4 \text{ cfs}$$

Developed Conditions

Area = 9.3 acres
C= 0.47
L= 960
S= 17.0
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 7.7$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 1.60$$

$$T_c = 9.3$$

$$i_{10} = 6.23$$

$$Q = KCiA$$

$$Q = 27.1 \text{ cfs}$$

Drainage Area #1 - 100 year

Existing Conditions

Area = 9.3 acres
C= 0.50
L= 960
S= 17.0
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T_c < 15

$$C = 0.50$$

$$T_i = 7.3$$

$$i_{100} = 331/(T_c + 30)$$

15 < T_c < 60

$$L = 960$$

$$T_t = 1.60$$

$$S = 17.0$$

$$T_c = 8.9$$

$$K = 1.25$$

$$i_{100} = 8.93$$

$$Q = KCiA$$

$$Q = 51.9 \text{ cfs}$$

Developed Conditions

Area = 9.3 acres
C= 0.47
L= 960
S= 17.0
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T_c < 15

$$C = 0.47$$

$$T_i = 7.7$$

$$i_{100} = 331/(T_c + 30)$$

15 < T_c < 60

$$L = 960$$

$$T_t = 1.60$$

$$S = 17.0$$

$$T_c = 9.3$$

$$K = 1.25$$

$$i_{100} = 8.80$$

$$Q = KCiA$$

$$Q = 47.8 \text{ cfs}$$

Drainage Area #2- 10 year

Existing Conditions

Area = 2.77 acres
C= 0.50
L= 540
S= 17.9
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8)$$

5 < Tc < 15

C= 0.50

$$T_i = 7.1$$

$$i_{10} = 214/(T_c + 26.7)$$

15 < Tc < 60

L= 540

S= 17.9

$$T_t = 0.90$$

$$T_c = 8.0$$

$$i_{10} = 6.53$$

$$Q = KCiA$$

$$Q = 9.1 \text{ cfs}$$

Developed Conditions

Area = 2.77 acres
C= 0.39
L= 540
S= 17.9
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8)$$

5 < Tc < 15

C= 0.39

$$T_i = 8.5$$

$$i_{10} = 214/(T_c + 26.7)$$

15 < Tc < 60

L= 540

S= 17.9

$$T_t = 0.90$$

$$T_c = 9.4$$

$$i_{10} = 6.21$$

$$Q = KCiA$$

$$Q = 6.7 \text{ cfs}$$

Drainage Area #2 - 100 year

Existing Conditions

Area = 2.77 acres
C= 0.50
L= 540
S= 17.9
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T_c < 15

$$C = 0.50$$

$$T_i = 7.1$$

$$i_{100} = 331/(T_c + 30)$$

15 < T_c < 60

$$L = 540$$

$$T_t = 0.90$$

$$S = 17.9$$

$$T_c = 8.0$$

$$K = 1.25$$

$$i_{100} = 9.20$$

$$Q = KCiA$$

$$Q = 16.0 \text{ cfs}$$

Developed Conditions

Area = 2.77 acres
C= 0.39
L= 540
S= 17.9
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T_c < 15

$$C = 0.39$$

$$T_i = 8.5$$

$$i_{100} = 331/(T_c + 30)$$

15 < T_c < 60

$$L = 540$$

$$T_t = 0.90$$

$$S = 17.9$$

$$T_c = 9.4$$

$$K = 1.25$$

$$i_{100} = 8.77$$

$$Q = KCiA$$

$$Q = 11.8 \text{ cfs}$$

PRELIMINARY PLAT APPLICATION
 Leavenworth County Planning and Zoning Department,
 300 Walnut St., Suite 30
 Leavenworth, Kansas
 913-684-0465
 913-684-0398 Fax

Office Use Only		
CAMA No.:	_____	
Township:	_____	
Planning Commission Meeting Date:	_____	
Project No.:	Date Received: _____	Date Paid: _____

APPLICANT/AGENT INFORMATION	OWNER INFORMATION
NAME: _____	NAME: <u>FRANCISCO R. ARROYO</u>
MAILING ADDRESS: _____	MAILING ADDRESS: <u>PO BOX 55</u>
CITY/ST/ZIP: _____	CITY/ST/ZIP: <u>LANSING, KS. 66043</u>
PHONE: _____ EMAIL: _____	PHONE: <u>913-306-8468</u> EMAIL: _____
CONTACT PERSON: _____	CONTACT PERSON: <u>FRANCISCO</u>

GENERAL INFORMATION

Proposed Subdivision Name: A&A Estates

Nearest Intersection: WOLCOTT DRIVE & MARXEN ROAD

Legal Description (S-T-R 1/4 Section): E 1/2 - NW 1/4 - SECTION 3-T10S-R23E

Zoning: RR - 2.5

Comprehensive Plan Land Use Designation: _____

Urban Growth Management Area: _____

Surveyor and/or Engineer Firm: HAHN SURVEYING

Contact Person: LARRY HAHN

Address: PO BOX 186 BASEHOR, KANSAS 66007

Phone: 913-547-3405 Fax: _____ Email: hahnsurvey@gmail.com

SUBDIVISION INFORMATION		
Gross Acreage: <u>22.26 ACRES</u>	Number of Lots: <u>2</u>	Minimum Lot Size: <u>10.01 ACRES</u>
Maximum Lot Size: <u>12.25 ACRES</u>	Proposed Zoning: <u>RR-2.5</u>	Density: _____
Open Space Acreage: _____	Water District: <u>RWD #1 CONS</u>	Proposed Sewage: <u>ON SITE</u>
Fire District: _____	Electric Provider: <u>EVERGY</u>	Natural Gas Provider: <u>PROPANE</u>
Covenants: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Road Classification: <u>Local - Collector - Arterial - State - Federal</u>	

Is any part of the site designated as Floodplain? Yes No If yes, what is the panel number: _____

I, the undersigned am the owner, duly authorized agent, of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for preliminary plat approval as indicated above.

Signature: Francisco R. Arroyo Date: 8/26/2021

ATTACHMENT A-1

FINAL PLAT APPLICATION
 Leavenworth County Planning and Zoning Department,
 300 Walnut St., County Courthouse
 Leavenworth, Kansas
 913-684-0465
 913-684-0398 Fax

Office Use Only	
CAMA No.: _____	Date Received: _____
Township: _____	
Planning Commission Meeting Date: _____	
Project No.: _____	Date Paid: _____

APPLICANT/AGENT INFORMATION	OWNER INFORMATION
NAME _____	NAME <u>FRANCISCO R. ARROYO</u>
ADDRESS _____	ADDRESS <u>24225 WOLCOTT DRIVE</u>
CITY/ST/ZIP _____	CITY/ST/ZIP <u>KANSAS CITY, KS. 66109</u>
PHONE _____ EMAIL _____	PHONE <u>913-306-8468</u> EMAIL _____
CONTACT PERSON _____	CONTACT PERSON <u>FRANCISCO</u>

GENERAL INFORMATION

Subdivision Name: A&A Estates

Legal Description (S-T-R 1/4 Section): E 1/2 - NW 1/4 - SECTION 3-T10S-R23E

Zoning: RR- 2.5

Surveyor and/or Engineer Firm: HAHN SURVEYING

Contact Person: LARRY HAHN

Address: PO BOX 186 BASEHOR, KANSAS 66007

Phone : 913-547-3405 Fax : _____ Email : hahnsurvey@gmail.com

SUBDIVISION INFORMATION		
Gross Acreage: 22.26 ACRES	Number of Lots: 2	Minimum Lot Size: 10.01 ACRES
Maximum Lot Size: 12.25 ACRES	Zoning: RR - 2.5	Density:
Open Space Acreage:	Water District: RWD #1 CONS	Proposed Sewage: ON SITE
Fire District:	Electric Provider: EVERGY	Natural Gas Provider: PROPANE
Covenants: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Phase Number:	
Is any part of the site designated as Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what is the panel number:		

I, the undersigned am the owner, duly authorized agent, of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for Final Plat approval as indicated above.

Signature: Francisco R. Arroyo Date: 8/26/2021

ATTACHMENT A-2

OWNER AUTHORIZATION

I/WE FRANCISCO R. ARROYO, hereby referred to as the "Undersigned", being of lawful age, do hereby on this ___ day of ___, 20___, make the following statements, to wit:

1. I/We the Undersigned, on the date first above written, am the lawful, owner(s) in fee simple absolute of the following described real property

See Exhibit A attached hereto and incorporated herein by reference.

2. I/We the undersigned, have previously authorized and hereby authorize LARRY HAHN HAHN SURVEYING (Hereinafter referred to as "Applicant"), to act on my/our behalf for the purpose of making application with the Planning Department of Leavenworth County, Kansas, 24071 WOLCOTT DRIVE (common address) the subject real property, or portion thereof, and which authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process.

3. I/We the Undersigned, hereby agree to protect, defend, indemnify and hold the Board of County Commissioners of Leavenworth County, Kansas, its officers employees and agents (hereinafter collectively referred to as the 'County'), free and harmless from and against any and all claims, losses, penalties, damages, settlements, costs, charges, professional fees or other expenses or liabilities, whether false, fraudulent, meritless or meritorious, of every kind and character arising out of or relating to any and all claims, liens, demands, obligations, actions, proceedings, or causes of action of every kind and character (hereinafter "claims"), in connection with, relating to, or arising directly or indirectly out of this authorization and the actions taken by the Applicant and the County in reliance thereof. I, the Undersigned, hereby further agree to investigate, handle, respond to, provide defense for and defend any such claims at my sole expense and agree to bear all other costs at my sole expense and agree to bear all other costs and expenses related thereto, even if such claims are groundless, false or fraudulent.

4. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand below.

STATE OF KANSAS
COUNTY OF LEAVENWORTH

X Francisco R. Arroyo
FRANCISCO R. ARROYO

The foregoing instrument was acknowledged before me on this 26 day of August, 2021, by Francisco Arroyo

My Commission Expires:

Notary Public

[Signature]

ATTACHMENT B

Notary Public State of Kansas
My appointment expires

MAY 06 2025

Teresa A. Weems

Summary of Comments on 2021.11.10 DEV-21-147 FINAL.pdf

Page: 1

☰ Number: 1 Author: mjbogina Subject: Typewritten Text Date: 11/10/2021 1:53:25 PM
Reviewed 2021.11.10. No comments.

From: [Tyler Rebel](#)
Sent: Tuesday, August 31, 2021 8:49 AM
To: [Gentzler, Joshua](#)
Subject: RE: DEV-21-146 & 147 Preliminary/Final Plat for A&A Estates

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Internal Use Only

No comment or concern – thank you

Tyler Rebel
Distribution Designer
Evergy
tyler.rebel@evergy.com
O: 913.758.2727
evergy.com

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Sent: Monday, August 30, 2021 3:17 PM
To: Tyler Rebel <Tyler.Rebel@evergy.com>; 'Mike Stackhouse' <firedistrict1@fd1lv.org>; 'mfulkerson@crwd1.com' <mfulkerson@crwd1.com>; Magaha, Chuck <cmagaha@lvsheriff.org>; Miller, Jamie <JMiller@leavenworthcounty.gov>; Patzwald, Joshua <jpatzwald@lvsheriff.org>; Van Parys, David <DVanParys@leavenworthcounty.gov>
Subject: DEV-21-146 & 147 Preliminary/Final Plat for A&A Estates

****CAUTION: This email originated from outside of the Evergy network. Do not click links or open attachments unless you recognize the sender and know the content is safe****

Good afternoon,

The Leavenworth County Department of Planning and Zoning has received a request for a Preliminary and Final Plat for A&A Estates.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by End of Business on Monday, September 6th.

If you have any questions or need additional information, please contact me at (913) 684-0464 or at JGentzler@LeavenworthCounty.gov.

Thank you,

Joshua Gentzler
Planner II
[Planning & Zoning](#)
Leavenworth County
913.684.0464

From: [Mike Fulkerson](#)
Sent: Thursday, September 2, 2021 2:03 PM
To: [Gentzler, Joshua](#)
Subject: RE: DEV-21-146 & 147 Preliminary/Final Plat for A&A Estates

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Joshua,

Thank you for allowing the water district the opportunity to provide comments on this plat.

The water district currently serves domestic water service to the property in question. Any future connections will follow policies and practices of the water district in place at the time of connection. The water district currently maintains a 4-inch water main on the property for domestic water service. There are no fire hydrants in the area and until the water main size is increased, the water district prohibits the installation of fire hydrants on water mains smaller than 6-inch in size. There are currently no plans to replace the existing water main.

Let me know if you need anything further.



Mike Fulkerson
Operations Manager
Consolidated Water District #1
Bascher, KS 66147
913.724.7000 - Office
www.crw1.com

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Sent: Monday, August 30, 2021 3:17 PM
To: 'Tyler.rebel@evergy.com' <Tyler.rebel@evergy.com>; 'Mike Stackhouse' <firedistrict1@fd1lv.org>; Mike Fulkerson <Mfulkerson@crwd1.com>; Magaha, Chuck <cmagaha@lvsheriff.org>; Miller, Jamie <JMiller@leavenworthcounty.gov>; Patzwald, Joshua <jpatzwald@lvsheriff.org>; Van Parys, David <DVanParys@leavenworthcounty.gov>
Subject: DEV-21-146 & 147 Preliminary/Final Plat for A&A Estates

Good afternoon,

The Leavenworth County Department of Planning and Zoning has received a request for a Preliminary and Final Plat for A&A Estates.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by End of Business on Monday, September 6th.

If you have any questions or need additional information, please contact me at (913) 684-0464 or at JGentzler@LeavenworthCounty.gov.

Thank you,

Joshua Gentzler
Planner II

From: [Mitch Pleak](#)
Sent: Monday, November 15, 2021 4:14 PM
To: [Gentzler, Joshua](#)
Cc: [Allison, Amy](#); [Anderson, Lauren](#); [Noll, Bill](#); [019-2831](#)
Subject: RE: A & A Estates - DEV-21-146 & 147 - DR, PP & FP

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Joshua,
Lauren and I have reviewed the revised PP, FP, and drainage report with no further comments.
Thanks,
Mitch Pleak

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Sent: Wednesday, November 10, 2021 10:50 AM
To: Mitch Pleak <mpleak@olsson.com>
Cc: Allison, Amy <AAllison@leavenworthcounty.gov>; Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Subject: RE: A & A Estates - DEV-21-146 & 147 - DR, PP & FP

Mitch and Lauren,

Here is the revisions for the Prelim and Final and Drainage Report.

Joshua Gentzler
[Planning & Zoning](#)

From: Mitch Pleak <mpleak@olsson.com>
Sent: Tuesday, November 9, 2021 2:53 PM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Cc: Allison, Amy <AAllison@leavenworthcounty.gov>; Anderson, Lauren <LAnderson@leavenworthcounty.gov>; Noll, Bill <BNoll@leavenworthcounty.gov>; [019-2831](#) <019-2831@olsson.com>
Subject: FW: A & A Estates

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Joshua,
Lauren and I have reviewed the PP and FP. Comments are in the link below.

Citrix Attachments

Expires May 8, 2022

rev-aa-estates-final.pdf	1.3 MB
rev-aa-estates-pre.pdf	1.4 MB

[Download Attachments](#)

Mitchell Pleak uses Citrix Files to share documents securely.

Thanks,
Mitch Pleak

Mitch Pleak, PE
Project Engineer / Civil

D 913.748.2503

7301 W. 133rd Street, Suite 200
Overland Park, KS 66213
O 913.381.1170



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[View Legal Disclaimer](#)

From: Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Sent: Monday, November 8, 2021 2:12 PM
To: Michael Bogina <mjbogina@olsson.com>; Mitch Pleak <mpleak@olsson.com>
Subject: FW: A & A Estates

Please see attached for review.

Thanks,
Lauren

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Sent: Monday, November 8, 2021 1:25 PM
To: Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Subject: FW: A & A Estates

Joshua Gentzler
[Planning & Zoning](#)

From: larry hahn <hahnsurvey@gmail.com>
Sent: Friday, October 1, 2021 1:23 PM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Subject: A & A Estates

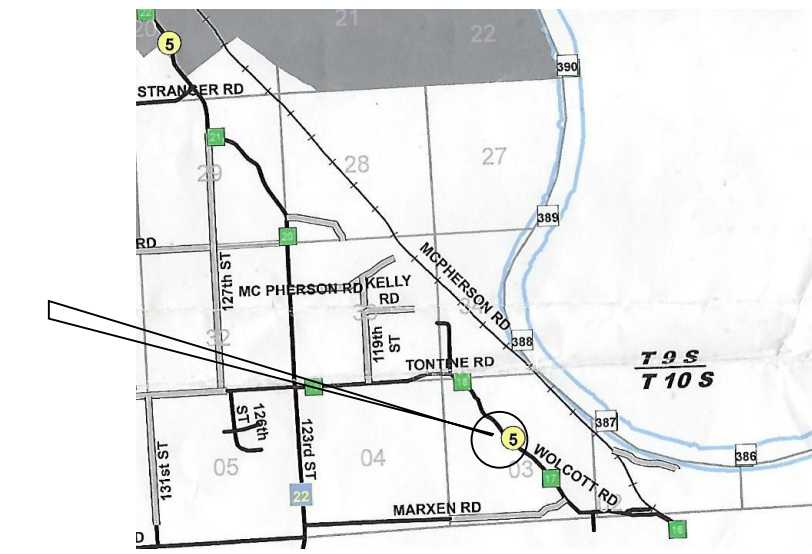
Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Joshua -
Attached is the revised A & A Estates.
I sent Michael a copy of the triangle survey to the north.
Thanks,

A&A ESTATES

A SUBDIVISION IN THE EAST HALF OF THE NORTHWEST QUARTER FRACTIONAL SECTION 3-T10S-R23E OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS

FINAL PLAT



LOCATION MAP
NO SCALE

REFERENCE:
1. RHODES SURVEY, JOB #99065
SHEETS 2, 4, 8 AND 9
(7-21-2000)
2. SURVEY - DOC. #20075003
3. DOC. #20215777?

"UNPLATTED TRACT"
PN. 162-03-0-00-00-03-03-0

EASEMENT DEDICATION

AN EASEMENT OR LICENSE TO ENTER UPON, LOCATE, CONSTRUCT AND MAINTAIN OR AUTHORIZE THE LOCATION, CONSTRUCTION OR MAINTAINANCE AND USE OF CONDUITS, WATER, GAS, SEWER PIPE, POLES, WIRES, DRAINAGE FACILITIES, DUCTS, CABLES AND SIMILAR FACILITIES UPON, OVER AND UNDER THESE AREAS OUTLINED AND DESIGNATED ON THIS PLAT AS UTILITY EASEMENT OR U/E IS HEREBY GRANTED TO LEAVENWORTH COUNTY, KANSAS WITH SUBORDINATE USE OF THE SAME BY OTHER GOVERNMENTAL ENTITIES AND PUBLIC UTILITIES AS MAY BE AUTHORIZED BY STATE LAW TO USE SUCH EASEMENT FOR SAID PURPOSES.

STREET DEDICATION

ALL STREETS ON THE ACCOMPANYING PLAT AND NOT HERETOFORE DEDICATED TO PUBLIC USE ARE HEREBY SO DEDICATED.

DEED DESCRIPTION - BOOK 948, PAGE 1332

A TRACT OF LAND IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 3, TOWNSHIP 10, RANGE 23, MORE FULLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 3; THENCE WEST ALONG THE EAST AND WEST CENTERLINE OF SAID SECTION 3. A DISTANCE OF 1321.25 FEET; THENCE NORTH ALONG THE DIVISION LINE BETWEEN THE EAST 1/2 AND THE WEST 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION 3, A DISTANCE OF 1572 FEET TO THE CENTER OF STATE HIGHWAY NO. 5. THENCE SOUTHEASTERLY ALONG THE CENTER OF SAID HIGHWAY NO. 5 TO THE POINT OF BEGINNING, LESS ANY PART THEREOF TAKEN OR USED FOR ROAD OR HIGHWAY PURPOSES.

SURVEYORS DESCRIPTION

A TRACT OF LAND IN THE EAST HALF OF THE NORTHWEST QUARTER OF FRACTIONAL SECTION 3-T10S-R23E OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS, DESCRIBED AS FOLLOWS; COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 3; THENCE, N 88°19'05"E, 1308.03 FEET ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER TO THE SOUTHWEST CORNER OF THE EAST HALF OF SAID NORTHWEST QUARTER AND THE POINT OF BEGINNING OF THIS TRACT; THENCE, N 01°56'20"W, 1324.29 FEET ALONG THE WEST LINE OF THE EAST HALF OF SAID NORTHWEST QUARTER TO THE CENTER OF THE NORTHWEST QUARTER OF SECTION 3; THENCE, N 88°24'27"E, 108.10 FEET TO THE CENTERLINE OF STATE HIGHWAY #5 (WOLCOTT ROAD); THENCE, S 32°08'09"E, 47.08 FEET ALONG SAID CENTERLINE; THENCE, S 54°15'09"E, 341.92 FEET ALONG SAID CENTERLINE; THENCE, S 43°12'42"E, 361.64 FEET ALONG SAID CENTERLINE; THENCE, S 33°15'22"E, 364.61 FEET ALONG SAID CENTERLINE; THENCE, S 45°49'46"E, 688.91 FEET ALONG SAID CENTERLINE TO THE CENTER OF SECTION 3; THENCE, S 88°19'05"W, 1308.03 FEET ALONG THE SOUTH LINE OF SAID NORTHWEST TO THE POINT OF BEGINNING, CONTAINS 22.91 ACRES, MORE OR LESS, INCLUDING ROAD RIGHT OF WAY. AS SURVEYED BY LARRY T. HAHN, LS #1349, AUGUST, 2021. RELATIVE: 1-988.153

IN TESTIMONY WHEREOF

THE UNDERSIGNED PROPRIETOR STATE THAT ALL TAXES ON THE ABOVE DESCRIBED TRACT OF LAND HAVE BEEN PAID AND THAT HE HAS CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THE ACCOMPANYING PLAT WHICH SHALL BE KNOWN 'A&A ESTATES'.

FRANCISCO R. ARROYO

STATE OF KANSAS / COUNTY OF LEAVENWORTH

ON THIS _____ DAY OF _____, 2021, BEFORE ME APPEARED FRANCISCO R. ARROYO, KNOWN TO ME TO BE THE SAME PERSON DESCRIBED HEREIN AND WHO EXECUTED THE SAME AS HIS FREE ACT AND DEED. IN WITNESS WHEREOF, I HAVE SET MY HAND AND AFFIXED MY NOTARIAL SEAL THIS _____ DAY OF _____, 2021.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

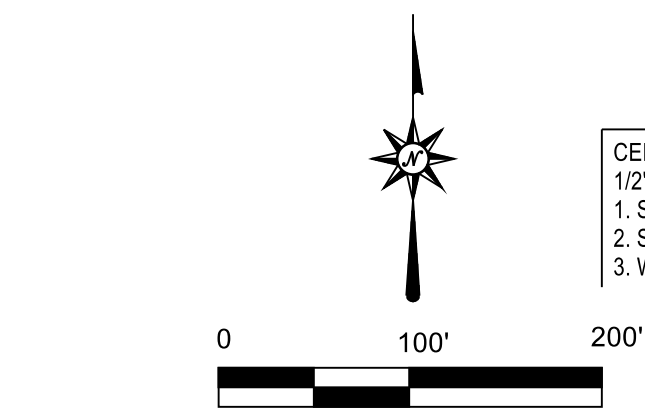
"UNPLATTED TRACT"
PN. 162-03-0-00-00-01-02-0

"UNPLATTED TRACT"
PN. 162-03-0-00-00-01-03-0

"UNPLATTED TRACT"
PN. 162-03-0-00-00-01-01-0

N 1/16 CORNER OF NW 1/4 OF 3-T10S-R23E (14A)
1/2" REBAR WITH #533 CAP (REF. #1)
1. E 10.90 TO PK NAIL IN 14" ELM
2. S 14.50 +/- TO EAST-WEST FENCE
3. SW 21.80 TO 1/2" REBAR
4. W 13.00 +/- TO FENCE RUNNING SOUTH

CENTER OF NW 1/4 3-T10S-R23E (14B)
1/2" REBAR WITH #533 CAP (REF. #1)
1. SSW 16.00 TO PK NAIL IN GATE POST
2. SW 18.50 TO CENTER OF 3" STEEL FENCE CORNER POST
3. WSW 13.50 TO PK NAIL IN TREE- IN NORTH-SOUTH FENCE



SCALE: 1" = 100'

BASIS OF BEARINGS:
KANSAS NORTH ZONE - NAD83
HELD SOUTH LINE OF NW 1/4 (3-T10S-R23E) - S 88°19'05"W

LEGEND

- 1/2" x 24" REBAR SET WITH #1349 CAP
- SURVEY MONUMENT FOUND (AS NOTED)
- ◐ 1/2" x 24" REBAR SET WITH #1349 CAP IN CONCRETE
- ◑ FOUND 1/2" REBAR WITH #533 CAP - ADDED CONCRETE
- U/E UTILITY EASEMENT - DEDICATED THIS PLAT
- POB POINT OF BEGINNING
- POC POINT OF COMMENCING
- (M) MEASURED
- (D) DEEDED
- S/B BUILDING SETBACK
- R/W HIGHWAY RIGHT OF WAY

ZONING

RR - 2.50
EXISTING USE OF AREA BEING PLATTED - AGRICULTURAL
PROPOSED USE - AGRICULTURAL / RESIDENTIAL

"UNPLATTED TRACT"
PN. 162-03-0-00-00-06-00-0

BENCHMARK

1/2" REBAR WITH #533 CAP AT THE CENTER OF SECTION 3-T10S-R23E
EL. 875.33 (NAVD 88)

RESTRICTIONS

- 40' REAR SETBACK FOR RESIDENCES
- 15' REAR SETBACK FOR ACCESSORY BUILDINGS
- 15' SIDE SETBACK
- AN ENGINEERED WASTEWATER DISPOSAL MAY BE REQUIRED DUE TO POOR SOIL CONDITIONS.
- EROSION CONTROL SHALL BE USED WHEN DESIGNING AND CONSTRUCTING DRIVEWAYS.
- A FORM OF SEDIMENT CONTROL SHALL BE INSTALLED BEFORE WORK BEGINS AND MAINTAINED THROUGHOUT THE TIME THAT THE LAND DISTURBING ACTIVITIES ARE TAKING PLACE.
- RE-VEGETATION OF ALL DISTURBED SITES SHALL BE COMPLETED WITHIN 45 DAYS AFTER COMPLETION OF FINAL GRADING, WEATHER PERMITTING.
- LOTS ARE SUBJECT TO THE CURRENT ACCESS MANAGEMENT POLICY RESOLUTION.

NOTES

- LEAVENWORTH COUNTY, KANSAS, DOES NOT REPRESENT, WARRANT OR GUARANTEE THAT THE DETAILS SHOWN ON THIS DOCUMENT AND PROVIDED BY THE APPLICANT OR AGENT OF APPLICANT, INCLUDING ANY SURVEY INFORMATION SHOULD BE RELIED UPON BY ANY THIRD PARTY AS BEING WHOLLY OR PARTIALLY ACCURATE AND COMPLETE.
- EXISTING USE OF AREA BEING PLATTED - AGRICULTURAL
PROPOSED USE - RESIDENTIAL / AGRICULTURAL
- THIS PLAT IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA
FEMA MAP 20103C0275G, EFFECTIVE 07/16/2015
- O & E REPORT BY SECURED TITLE OF KANSAS CITY - WYANDOTTE
NO. SKC 0066987 (JULY 29, 2021)

W 1/4 CORNER 3-T10S-R23E (13C)
1/2" REBAR WITH #1296 CAP (REF. #2)
1. SW 12.66 TO 40D NAIL IN 12" OAK
2. N 11.92 TO 40D NAIL IN 10" OAK
3. E 6.44 TO 40D NAIL IN 12" OAK
4. W 15' +/- TO NORTH-SOUTH FENCE

(TRAVERSE SUMMARY)
LOT #1
HORIZONTAL DISTANCE: 3728.39 FEET
AREA: 522,674.81 SQ. FT. / 12.00 ACRES
RELATIVE: 1:699,399 LINEAR: 0.005 FEET DIRECTION: S 31°45'24"W
NORTHING: 0.005 FEET EASTING: 0.003 FEET

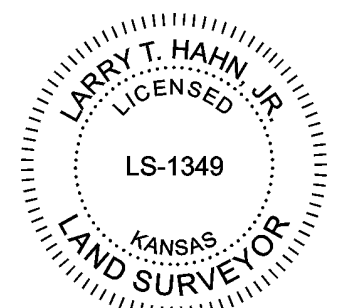
(TRAVERSE SUMMARY)
LOT #2
HORIZONTAL DISTANCE: 2914.53 FEET
AREA: 435985.84 SQ. FT. / 10.01 ACRES
RELATIVE: 1:724,176 LINEAR: 0.004 FEET DIRECTION: N 88°36'24"E
NORTHING: -0.000 FEET EASTING: -0.004 FEET

SW CORNER OF EAST 1/2 OF NW 1/4 3-T10S-R23E (14C)
1/2" REBAR WITH #533 CAP (REF. #1)
1. NE 21.58 TO PK NAIL WITH LS-533 TAG IN 14" OAK
2. SE 9.48 TO PK NAIL WITH LS-533 TAG IN 12" OAK
3. NW 12.90 TO PK NAIL WITH LS-533 TAG IN 14" OAK

LOT #2
10.01 ACRES, M/L

LOT #1
12.00 ACRES, M/L

OWNER / DEVELOPER
FRANCISCO R. ARROYO
PO BOX 55
LANING, KANSAS 66043



LARRY T. HAHN, LS #1349

THIS IS TO CERTIFY THAT IN THE MONTH OF AUGUST, 2021, THIS SURVEY WAS MADE UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE "KANSAS MINIMUM STANDARDS" FOR BOUNDARY SURVEYS.

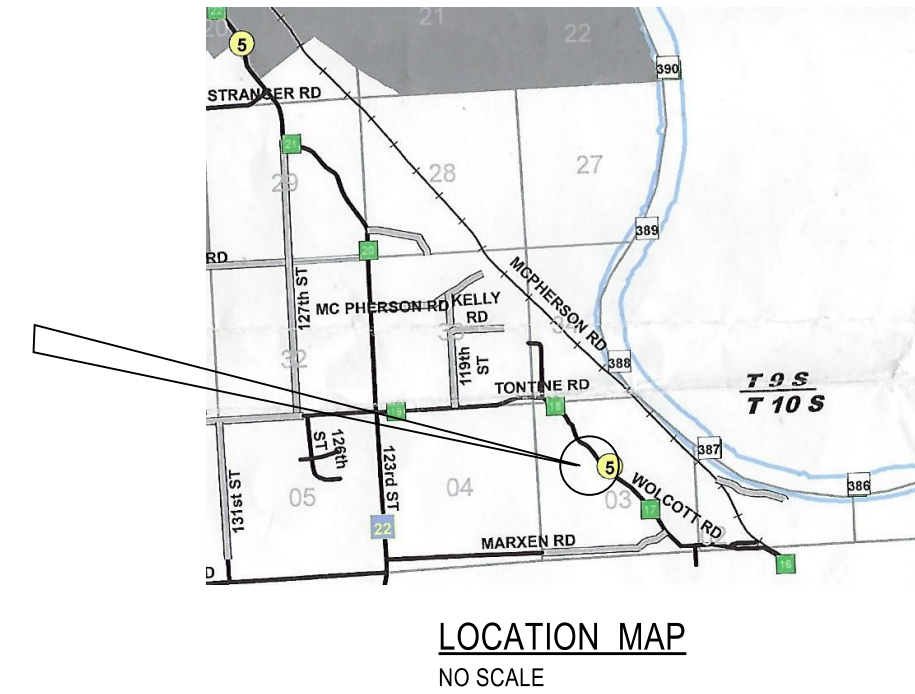


HAHN SURVEYING
PO BOX 186
BASEHOR, KANSAS 66607
(913) 547-3405
hahnsurvey@gmail.com

A&A ESTATES

A SUBDIVISION IN THE EAST HALF OF THE NORTHWEST QUARTER FRACTIONAL SECTION 3-T10S-R23E OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS

PRELIMINARY PLAT



LOCATION MAP
NO SCALE

N 1/4 CORNER OF NW 1/4 OF 3-T10S-R23E (14A)
1/2" REBAR WITH #533 CAP (REF. #1)
1. E 10.90 TO PK NAIL IN 14" ELM
2. S 14.50 +/- TO EAST-WEST FENCE
3. SW 21.80 TO 1/2" REBAR
4. W 13.00 +/- TO FENCE RUNNING SOUTH

"UNPLATTED TRACT"
PN. 162-03-0-00-00-03.03-0
OWNER:
FRANCISCO ARROYO
24225 WOLCOTT DRIVE
KANSAS CITY, KS. 661090

REFERENCE:
1. RHODES SURVEY, JOB #99065
SHEETS 2, 4, 8 AND 9
(7-21-2000)
2. SURVEY - DOC. #2007S003

CENTER OF NW 1/4 3-T10S-R23E (14B)
1/2" REBAR WITH #533 CAP (REF. #1)
1. SSW 16.00 TO PK NAIL IN GATE POST
2. SW 18.50 TO CENTER OF 3" STEEL FENCE CORNER POST
3. WSW 13.50 TO PK NAIL IN TREE- IN NORTH-SOUTH FENCE

"UNPLATTED TRACT"
PN. 162-03-0-00-00-02.01-0
OWNER:
JUAN "HEIDI" LULLOA
24174 WOLCOTT DRIVE
KANSAS CITY, KS. 661090

LEGEND

- 1/2" x 24" REBAR SET WITH #1349 CAP
- SURVEY MONUMENT FOUND (AS NOTED)
- ◐ 1/2" x 24" REBAR SET WITH #1349 CAP IN CONCRETE
- ◑ FOUND 1/2" REBAR WITH #533 CAP - ADDED CONCRETE
- U/E UTILITY EASEMENT - DEDICATED THIS PLAT
- POB POINT OF BEGINNING
- POC POINT OF COMMENCING
- (M) MEASURED
- (D) DEEDED
- S/B BUILDING SETBACK
- R/W HIGHWAY RIGHT OF WAY

NOTE:
NO MONUMENTS SET ON HIGHWAY CENTERLINE BY
AGREEMENT WITH CLIENT.
MONUMENTS SET ON 33' R/W.

CENTERLINE (66' R/W) - REF. #1
KANSAS STATE HIGHWAY #5
(WOLCOTT DRIVE)
ROAD RECORD
B - 190 (1868)

"UNPLATTED TRACT"
PN. 162-03-0-00-00-01.02-0
OWNER:
RYAN & AMY TROTNIC
24066 WOLCOTT DRIVE
KANSAS CITY, KS. 661090

"UNPLATTED TRACT"
PN. 162-03-0-00-00-01.03-0
OWNER:
DAVID & CYNTHIA SNOODGRASS
24060 WOLCOTT DRIVE
KANSAS CITY, KS. 661090

OWNER / DEVELOPER

FRANCISCO R. ARROYO
PO BOX 55
LANSING, KANSAS 66043
(913) 306-8468

DEED DESCRIPTION - BOOK 948, PAGE 1332

A TRACT OF LAND IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 3, TOWNSHIP 10, RANGE 23,
MORE FULLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 3; THENCE WEST ALONG
THE EAST AND WEST CENTERLINE OF SAID SECTION 3, A DISTANCE OF 1321.25 FEET; THENCE NORTH ALONG
THE DIVISION LINE BETWEEN THE EAST 1/2 AND THE WEST 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION 3,
A DISTANCE OF 1572 FEET TO THE CENTER OF STATE HIGHWAY NO. 5; THENCE SOUTHEASTERLY ALONG THE
CENTER OF SAID HIGHWAY NO. 5 TO THE POINT OF BEGINNING, LESS ANY PART THEREOF TAKEN OR USED
FOR ROAD OR HIGHWAY PURPOSES.

SURVEYORS DESCRIPTION

A TRACT OF LAND IN THE EAST HALF OF THE NORTHWEST QUARTER OF FRACTIONAL SECTION 3-T10S-R23E OF THE 6TH P.M.,
LEAVENWORTH COUNTY, KANSAS, DESCRIBED AS FOLLOWS; COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 3;
THENCE N 88°19'05"E, 1308.03 FEET ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER TO THE SOUTHWEST CORNER OF
THE EAST HALF OF SAID NORTHWEST QUARTER AND THE POINT OF BEGINNING OF THIS TRACT;
THENCE N 01°56'20"W, 1324.29 FEET ALONG THE WEST LINE OF THE EAST HALF OF SAID NORTHWEST QUARTER TO THE CENTER OF THE NORTHWEST QUARTER OF SECTION 3;
THENCE N 88°24'27"E, 108.10 FEET TO THE CENTERLINE OF STATE HIGHWAY #5 (WOLCOTT ROAD);
THENCE S 32°06'09"E, 47.08 FEET ALONG SAID CENTERLINE;
THENCE S 54°15'09"E, 341.92 FEET ALONG SAID CENTERLINE;
THENCE S 43°12'42"E, 361.84 FEET ALONG SAID CENTERLINE;
THENCE S 33°15'22"E, 364.61 FEET ALONG SAID CENTERLINE;
THENCE S 45°49'45"E, 688.91 FEET ALONG SAID CENTERLINE TO THE CENTER OF SECTION 3;
THENCE S 88°19'05"W, 1308.03 FEET ALONG THE SOUTH LINE OF SAID NORTHWEST TO THE POINT OF BEGINNING.
CONTAINS 22.01 ACRES, MORE OR LESS, INCLUDING ROAD RIGHT OF WAY.
AS SURVEYED BY LARRY T. HAHN, LS #1349, AUGUST, 2021.
RELATIVE: 1-988, 153

RESTRICTIONS

1. 40' REAR SETBACK FOR RESIDENCES
- 15' REAR SETBACK FOR ACCESSORY BUILDINGS
- 15' SIDE SETBACK
2. AN ENGINEERED WASTEWATER DISPOSAL MAY BE REQUIRED DUE TO POOR SOIL CONDITIONS.
3. EROSION CONTROL SHALL BE USED WHEN DESIGNING AND CONSTRUCTING DRIVEWAYS.
4. A FORM OF SEDIMENT CONTROL SHALL BE INSTALLED BEFORE WORK BEGINS AND MAINTAINED THROUGHOUT THE TIME THAT THE LAND DISTURBING ACTIVITIES ARE TAKING PLACE.
5. RE-VEGETATION OF ALL DISTURBED SITES SHALL BE COMPLETED WITHIN 45 DAYS AFTER COMPLETION OF FINAL GRADING, WEATHER PERMITTING.
6. LOTS ARE SUBJECT TO THE CURRENT ACCESS MANAGEMENT POLICY RESOLUTION.

NOTES

1. FENCE LINES DO NOT DENOTE PROPERTY LINES.
2. LEAVENWORTH COUNTY, KANSAS, DOES NOT REPRESENT, WARRANT OR GUARANTEE THAT THE DETAILS SHOWN ON THIS DOCUMENT AND PROVIDED BY THE APPLICANT OR AGENT OF APPLICANT, INCLUDING ANY SURVEY INFORMATION SHOULD BE RELIED UPON BY ANY THIRD PARTY AS BEING WHOLLY OR PARTIALLY ACCURATE AND COMPLETE.
3. EXISTING USE OF AREA BEING PLATTED - AGRICULTURAL / RESIDENTIAL
PROPOSED USE - RESIDENTIAL / AGRICULTURAL
4. THIS PLAT IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA
FEMA MAP 20103C0275G, EFFECTIVE 07/16/2015
5. O & E REPORT BY SECURED TITLE OF KANSAS CITY - WYANDOTTE
NO. SKC 0066987 (JULY 29, 2021)

DRAINAGE CALCULATIONS

ON SEPARATE DOCUMENT BY DAVID LUTGEN, PE

BENCHMARK

1/2" REBAR WITH #533 CAP AT THE CENTER OF SECTION 3-T10S-R23E
EL. 875.33 (NAVD 88)

ZONING

RR - 2.50
EXISTING USE OF AREA BEING PLATTED - AGRICULTURAL
PROPOSED USE - AGRICULTURAL / RESIDENTIAL

ROAD INFORMATION

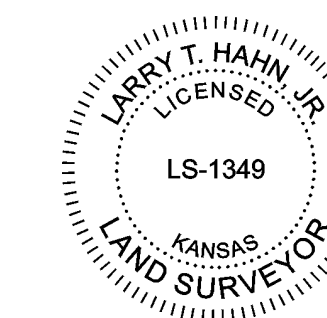
WOLCOTT DRIVE IS 24' WIDE WITH ASPHALT SURFACE
(STATE HIGHWAY)

PUBLIC IMPROVEMENT

NONE

UTILITIES

ELECTRIC / EVERY
WATER / R.W.D. #1 CON.
GAS / PRIVATE PROPANE
SEWAGE / PRIVATE ON SITE SYSTEM
TELEPHONE / AT&T



LARRY T. HAHN, LS #1349

THIS IS TO CERTIFY THAT IN THE MONTH OF AUGUST, 2021, THIS SURVEY
WAS MADE UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY
MEETS OR EXCEEDS THE "KANSAS MINIMUM STANDARDS" FOR BOUNDARY SURVEYS.



HAHN SURVEYING
PO BOX 186
BASEHOR, KANSAS 66007
(913) 547-3405
hahnsurvey@gmail.com

*****Consent Agenda*****
Case No. DEV-21-164
High Prairie Pointe South
Preliminary Plat

Staff Report – Planning Commission

December 8, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** Larry Northrop
25800 Linwood Road
Lawrence, KS 66044

Agent: Herring Surveying Company
315 N. 5th Street
Leavenworth, KS 66048

Legal Description: A tract of land in the Southeast Quarter of Section 15, Township 12 South, Range 20 East of the 6th P.M, in Leavenworth County, Kansas.

Location: 25800 Linwood Road

Parcel Size: ± 18 acres

Zoning/Land Use: RR-5, Rural Residential 5-acre minimum size parcels

Comprehensive Plan: This parcel is within the Residential land use category.

Parcel ID No.: 215-15-0-00-00-022.00

Planner: Joshua Gentzler

REPORT:

Request

The applicant is requesting a Preliminary Plat for a six (6) lot subdivision.

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 2.8 acres to 33.5 acres in size. The Kansas Turnpike Authority Right-of-Way (Interstate 70) forms the southeastern property line of the existing parcel.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C0300G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Reno Township
Water: RWD 10
Electric: Evergy

Access/Streets

The property is accessed by Linwood Road/Kansas Highway 32. This road is a State Highway with a paved surface ± 32' wide. Lots 1-3, 5, and 6 will only access Ryan Drive. There shall be no additional lots accessing the easement the property has with the Kansas Turnpike Authority.

Agency Comments

See attached comments – Email – Mitch Pleak – Public Works, November 9, 2021
See attached comments – Email – Mitch Pleak – Public Works, November 15, 2021
See attached comments – Email – Chuck Magaha – Emergency Management, September 29, 2021
See attached comments – Email – Gary Bennett – Rural Water District 10, September 27, 2021

Findings

1. The proposed subdivision is consistent with the zoning district of RR 2.5; Rural Residential Zoning 2.5-acre minimum size parcels, meets the lot-depth to lot-width ratio of 3.5:1 or 4:1, have the minimum frontage of 200', and a minimum lot size of 2.5 acres.
2. The property is not within a sewer district boundary or is within 660 feet of the incorporated limits of a municipality; therefore, a waiver to the requirement of allowing private septic systems is supported by staff. A private sewage disposal permit may be issued per Leavenworth County Sanitary Code requirements.
3. At time of development, fire hydrants shall be required if necessary infrastructure is available.
4. The proposed subdivision is in accordance with the Future Land Use Map in the Comprehensive Plan and supports the Comprehensive's Plan "Promote efficient residential densities, types, and values" (found on page 79).

Subdivision Classification

This is classified as a Class "C" Subdivision. According to the Leavenworth County Zoning & Subdivision regulations, a Class "C" Subdivision is any subdivision in which all the lots lie within the Rural Growth Area of Leavenworth County.

Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision. (See condition 4.)

Staff Comments

The applicant is requesting a six-lot subdivision that would extend Ryan Drive to the southwest. Lot 4 will maintain the previously approved access to K-32/Linwood Road, while all other lots will access Ryan Drive. The proposed lots range in size from 2.7 to 4.4 acres, approximately. The lots are generally in conformance with the Zoning and Subdivision Regulations (ZSR) and divide the property in an orderly manner.

STAFF RECOMMENDATION:

The staff recommends approval of Case No. DEV-21-164, Preliminary Plat for High Prairie Pointe South, with the following conditions:

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
3. The applicant shall adhere to the following memorandums:
 - a. Chuck Magaha – Emergency Management, September 29, 2021
4. A waiver for the use of private septic systems within this subdivision is granted with this approval.
5. At time of development, fire hydrants shall be required if necessary infrastructure is available.
6. After approval of this subdivision by the Board of County Commission, all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days.

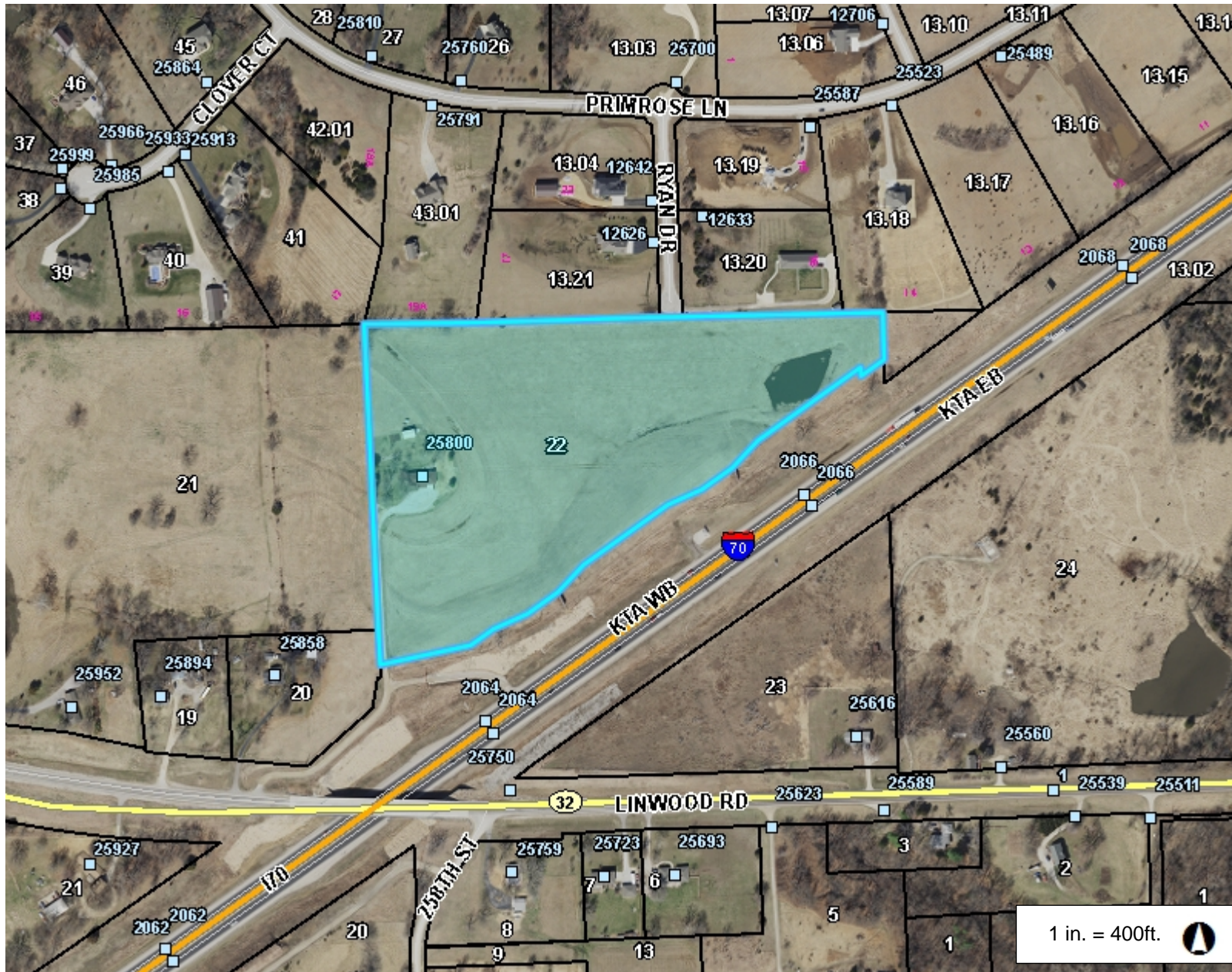
ACTION OPTIONS:

1. Recommend approval of Case No. DEV-21-164, Preliminary Plat for High Prairie Pointe South, to the Board of County Commission, with or without conditions; or
2. Recommend denial of Case No. DEV-21-164, Preliminary Plat for High Prairie Pointe South, to the Board of County Commission for the following reasons; or
3. Continue the hearing to another date, time, and place.

ATTACHMENTS:

Aerial Map
Memorandums
Preliminary Plat

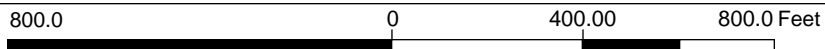
DEV-21-164 High Prairie Pointe South Preliminary Plat



Legend

- Address Point
- Parcel Number
- Lot Line
- Parcel
- ⋮ City Limit Line
- Major Road
- <all other values>
- 70
- Road

1 in. = 400ft.



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

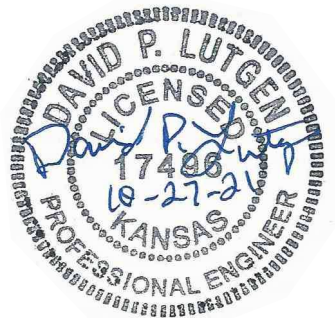
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

High Prairie Pointe South
Leavenworth County Kansas
Drainage Report

September 20, 2021

Revised October 14, 2021



Parcel Information - The 18.3-acre (+/-) parcel is located at the north side of I-70 Highway approximately 0.5 miles east of 24-40 in Leavenworth County KS. The property is zoned RR 2.5.

Existing Conditions – There is a home and an outbuilding on the parcel. The remainder of the parcel is used as a pasture. The site can be divided into four drainage areas as shown on exhibit #1. There is a small pond on the east side of the parcel. It is assumed that the pond will remain.

A c value was calculated for the drainage area as shown in the table below. The c value is based on the soil type, slopes, and existing land use, see Exhibits #3 and #4.

Existing		Acres in each Drainage Area			
	c value	DA #1	DA #2		
Pasture	0.30	5.26	8.51		
Impervious	0.90	0.00	0.04		
Composite c		0.30	0.30		

$$\text{composite c} = \frac{(\text{Pasture Acres} * 0.30 + \text{Impervious Acres} * 0.90)}{\text{Total Acres}}$$

Developed Conditions – The proposed development has six building lots with one of the lots already having a home on it. The development includes the construction of a new road. The new road will connect to Ryan Drive and extend southwest approximately 680-ft, see exhibit #2. A composite c value was calculated for the drainage area as shown in the table below. The composite c value is based on the soil type, slopes, and land use, see Exhibits #3 and #4. The developed storm water runoff calculations include 10,000 sq ft of impervious area for the new building lots. This impervious area will account for the driveway, house footprint, and outbuilding. The remainder of the lot will be maintained as a grass lawn. A composite c value for the drainage area was calculated as shown below.

Developed		Acres in each Drainage Area			
	c value	DA #1	DA #2		
Impervious	0.90	0.35	1.18		
Grass	0.20	4.91	7.37		
Composite c		0.25	0.30		

$$\text{composite c} = \frac{(\text{Impervious Acres} * 0.90 + \text{Grass Acres} * 0.20)}{\text{Total Acres}}$$

The storm water runoff for existing and developed conditions is summarized in the following tables. Calculations for the storm water runoff are included with the report.

DA #1

	Q10	Q100
Existing	6.9	12.3
Developed	5.5	9.8
Change	-20.4%	-20.4%

DA #2

	Q10	Q100
Existing	12.1	21.5
Developed	12.1	21.5
Change	0.0%	0.0%

Conclusion – The change in land use for this parcel of ground results in a 20% decrease in storm water runoff from DA #1 and no change in runoff from DA #2.

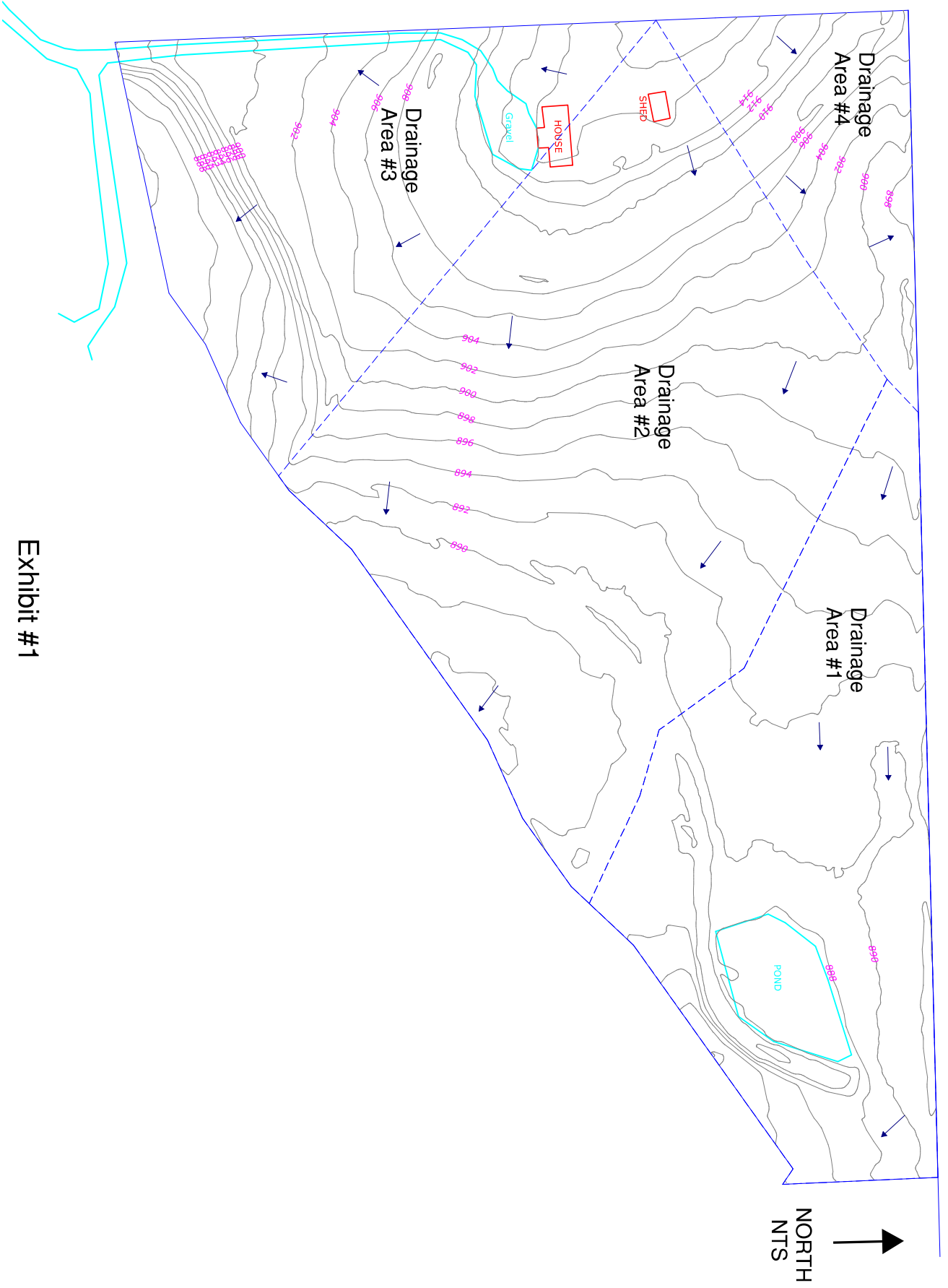


Exhibit #1

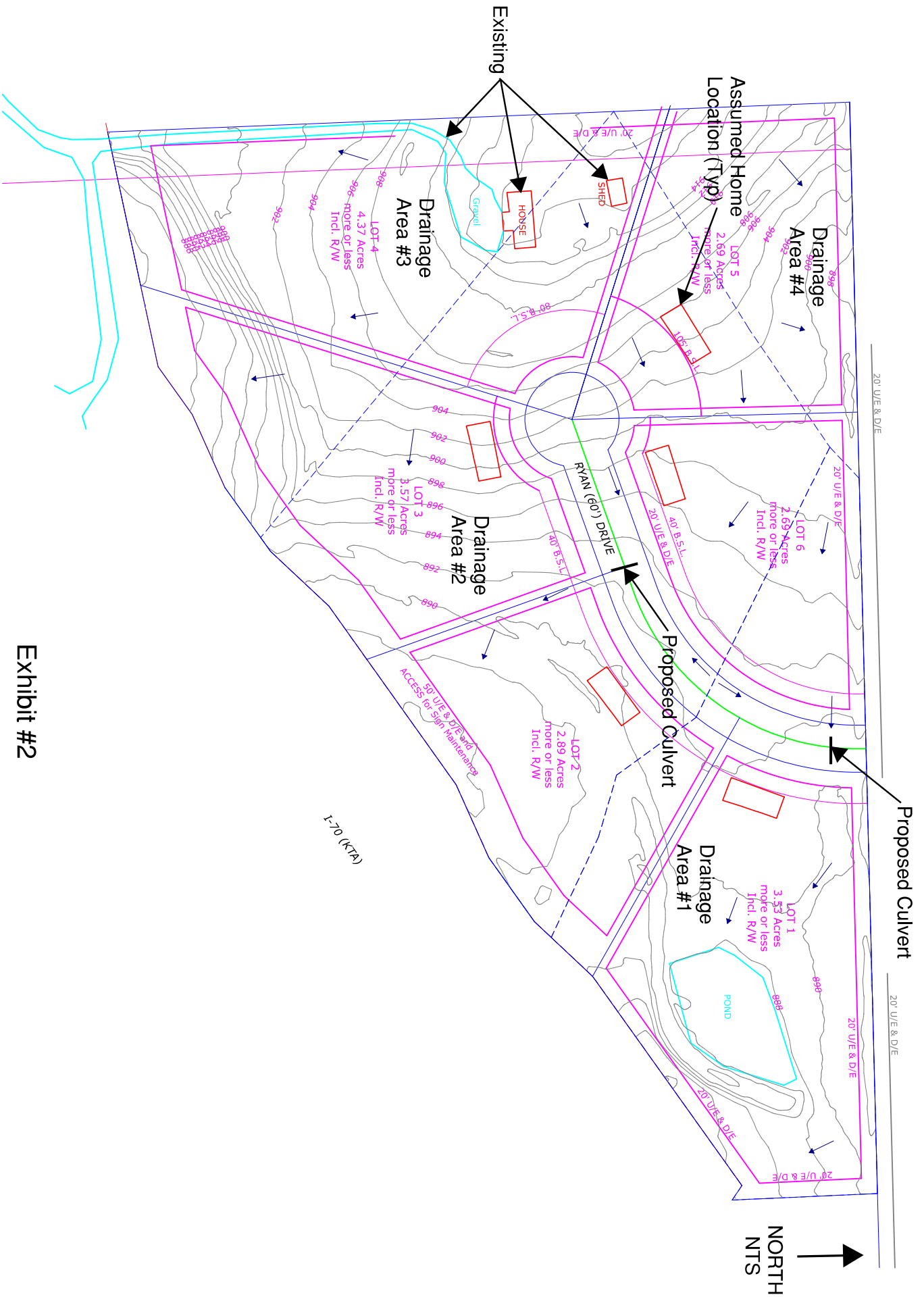


TABLE 1 Values of Runoff Coefficient C

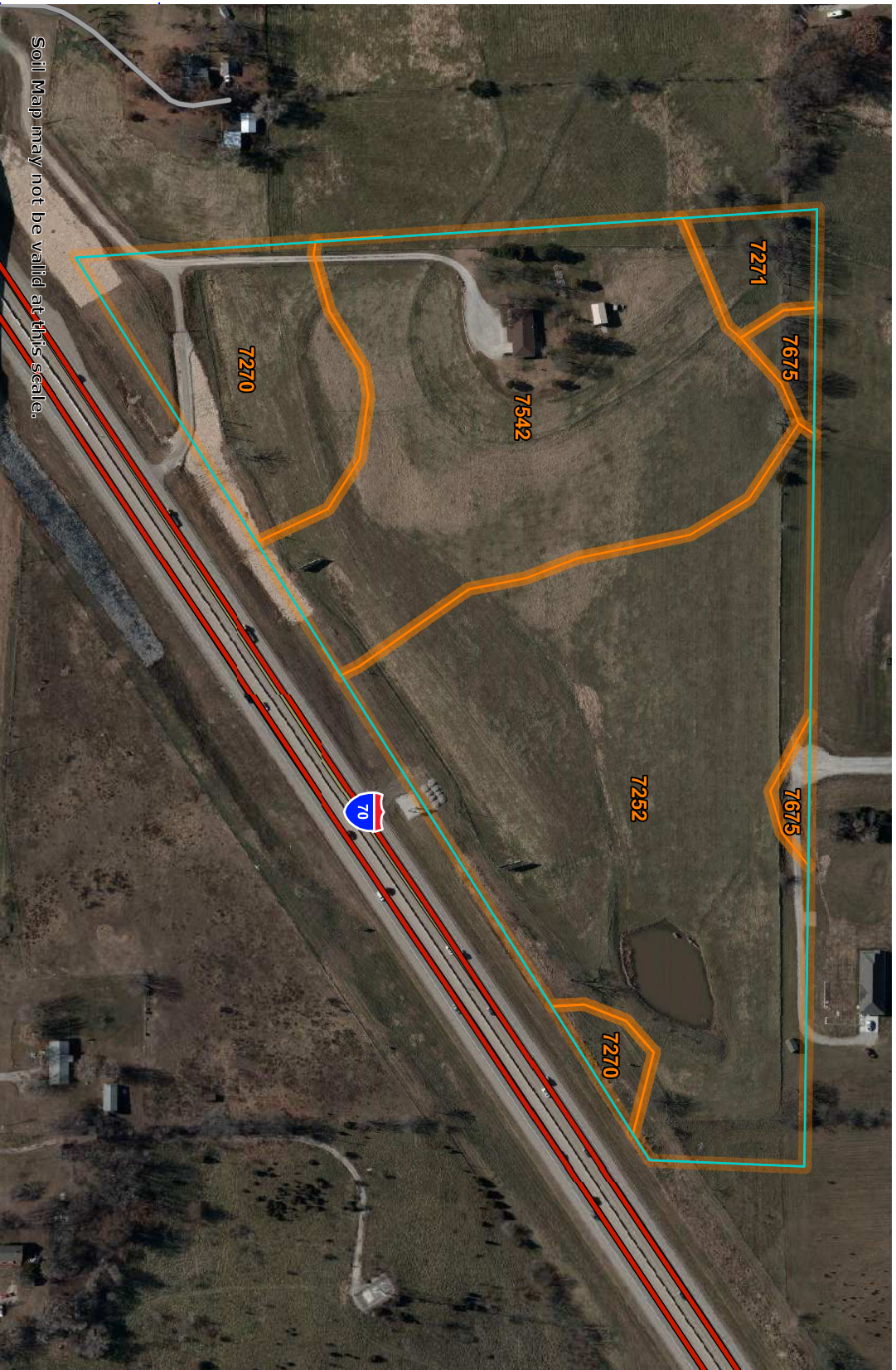
URBAN AREAS:	
Type of drainage area	Runoff coefficient C
Lawns:	0.05 - 0.10
Sandy soil, flat 2%	0.10 - 0.15
Sandy soil, average, 2 - 7%	0.15 - 0.20
Sandy soil, steep, 7%	0.13-0.17
Heavy soil, flat, 2%	0.18 - 0.22
Heavy soil, average, 2 - 7%	0.25 - 0.35
Heavy soil, steep, 7%	
Business:	0.70 - 0.95
Downtown areas Neighborhood areas	0.50.0.70
Residential:	0.30 - 0.50
Single-family areas	0.40 - 0.60
Multi units, detached Multi units,	0.60 - 0.75
attached Suburban	0.25 - 0.40
Apartment dwelling areas	0.50 - 0.70
Industrial:	
Light areas	0.50 - 0.80
Heavy areas	0.60 - 0.90
Parks, cemeteries	0.10 - 0.25
Playgrounds	0.20 - 0.35
Railroad yard areas	0.20 - 0.40
Unimproved areas	0.10 - 0.30
Streets:	0.70 - 0.95
Asphaltic	0.80 - 0.95
Concrete	0.70 - 0.85
Brick	
Drives and walks	0.75 - 0.85
Roofs	0.75 - 0.95

AGRICULTURAL AREAS:

Topography and Vegetation	Runoff Coefficient C Soil Texture		
	Soil Texture		
	Open Sandy Loam	Clay and Silt Loam	Tight Clay
Woodland			
Flat 0 - 5% Slope	0.10	0.30	0.40
Rolling 5 - 10% Slope	0.25	0.35	0.50
Hilly 10 - 30% Slope	0.30	0.50	0.60
Pasture			
Flat	0.10	0.30	0.40
Rolling	0.16	0.36	0.55
Hilly	0.22	0.42	0.60
Cultivated			
Flat	0.30	0.50	0.60
Rolling	0.40	0.60	0.70
Hilly	0.52	0.72	0.82

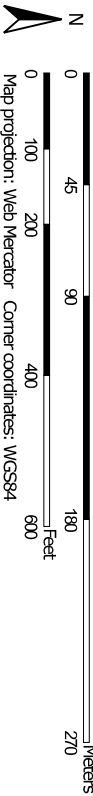
Source - Natural Resources Conservation Service (NRCS) US Department of Agriculture (USDA) Peak Discharge Course
https://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/stelprdb1083019.pdf

Exhibit #3



Soil Map may not be valid at this scale.

Map Scale: 1:3,050 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84

Map Unit Symbol	Map Unit Name
7252	Grundy silty clay loam, 1 to 3 percent slopes
7270	Falleat-Grinter soils, 4 to 8 percent slopes
7271	Falleat-Grinter soils, 8 to 20 percent slopes
7542	Sharpsburg silty clay loam, 4 to 8 percent slopes, eroded
7675	Welda silt loam, 8 to 15 percent slopes

Drainage Area #1- 10 year

Existing Conditions

Area = 5.26 acres
 C= 0.30
 L= 880
 S= 2.0
 K= 1

$$T_t = 1.8(1.1-C)L^{0.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8)$$

5 < T_c < 15

$$T_t = 19.8$$

$$i_{10} = 214/(T_c + 26.7)$$

15 < T_c < 60

$$T_t = 1.47$$

$$T_c = 21.3$$

$$i_{10} = 4.37$$

Q=KCIA

Q= 6.9 cfs

Developed Conditions

Area = 5.26 acres
 C= 0.25
 L= 880
 S= 2.0
 K= 1

$$T_t = 1.8(1.1-C)L^{0.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8)$$

5 < T_c < 15

$$T_t = 21.1$$

$$i_{10} = 214/(T_c + 26.7)$$

15 < T_c < 60

$$T_t = 1.47$$

$$T_c = 22.6$$

$$i_{10} = 4.23$$

Q=KCIA

Q= 5.5 cfs

Drainage Area #1 - 100 year

Existing Conditions

Area = 5.26 acres
 C= 0.30
 L= 880
 S= 2.0
 K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T_c < 15

$$T_i = 19.8$$

$$i_{100} = 331/(T_c + 30)$$

15 < T_c < 60

$$T_t = 1.47$$

$$T_c = 21.3$$

$$i_{100} = 6.23$$

Q=KCIA

$$Q = 12.3 \text{ cfs}$$

Developed Conditions

Area = 5.26 acres
 C= 0.25
 L= 880
 S= 2.0
 K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T_c < 15

$$T_i = 21.1$$

$$i_{100} = 331/(T_c + 30)$$

15 < T_c < 60

$$T_t = 1.47$$

$$T_c = 22.6$$

$$i_{100} = 6.04$$

Q=KCIA

$$Q = 9.8 \text{ cfs}$$

Drainage Area #2- 10 year

Existing Conditions

Area = 8.55 acres
C= 0.30
L= 960
S= 3.3
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

$$L_{max} = 300$$

$$i_{10} = 175/(T_c + 18.8)$$

$$5 < T_c < 15$$

$$T_i = 16.8$$

$$i_{10} = 214/(T_c + 26.7)$$

$$15 < T_c < 60$$

$$T_t = 1.60$$

$$T_c = 18.4$$

$$i_{10} = 4.71$$

Q=KCIA

$$Q = 12.1 \text{ cfs}$$

Developed Conditions

Area = 8.55 acres
C= 0.30
L= 960
S= 3.3
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

$$L_{max} = 300$$

$$i_{10} = 175/(T_c + 18.8)$$

$$5 < T_c < 15$$

$$T_i = 16.8$$

$$i_{10} = 214/(T_c + 26.7)$$

$$15 < T_c < 60$$

$$T_t = 1.60$$

$$T_c = 18.4$$

$$i_{10} = 4.71$$

Q=KCIA

$$Q = 12.1 \text{ cfs}$$

Drainage Area #2 - 100 year

Existing Conditions

Area = 8.55 acres
C = 0.30
L = 960
S = 3.3
K = 1.25

$$T_i = 1.8(1.1-C)L^{0.5}/S^{1/3}$$

$$L_{max} = 300$$

$$i_{100} = 256/(T_c + 19.8)$$

$$5 < T_c < 15$$

$$T_i = 16.8$$

$$i_{100} = 331/(T_c + 30)$$

$$15 < T_c < 60$$

$$T_t = 1.60$$

$$T_c = 18.4$$

$$i_{100} = 6.71$$

Q=KCIA

$$Q = 21.5 \text{ cfs}$$

Developed Conditions

Area = 8.55 acres
C = 0.30
L = 960
S = 3.3
K = 1.25

$$T_i = 1.8(1.1-C)L^{0.5}/S^{1/3}$$

$$L_{max} = 300$$

$$i_{100} = 256/(T_c + 19.8)$$

$$5 < T_c < 15$$

$$T_i = 16.8$$

$$i_{100} = 331/(T_c + 30)$$

$$15 < T_c < 60$$

$$T_t = 1.60$$

$$T_c = 18.4$$

$$i_{100} = 6.71$$

Q=KCIA

$$Q = 21.5 \text{ cfs}$$

STATE OF KANSAS LEAVENWORTH COUNTY RYAN DRIVE EXTENSION PUBLIC ROAD PLANS

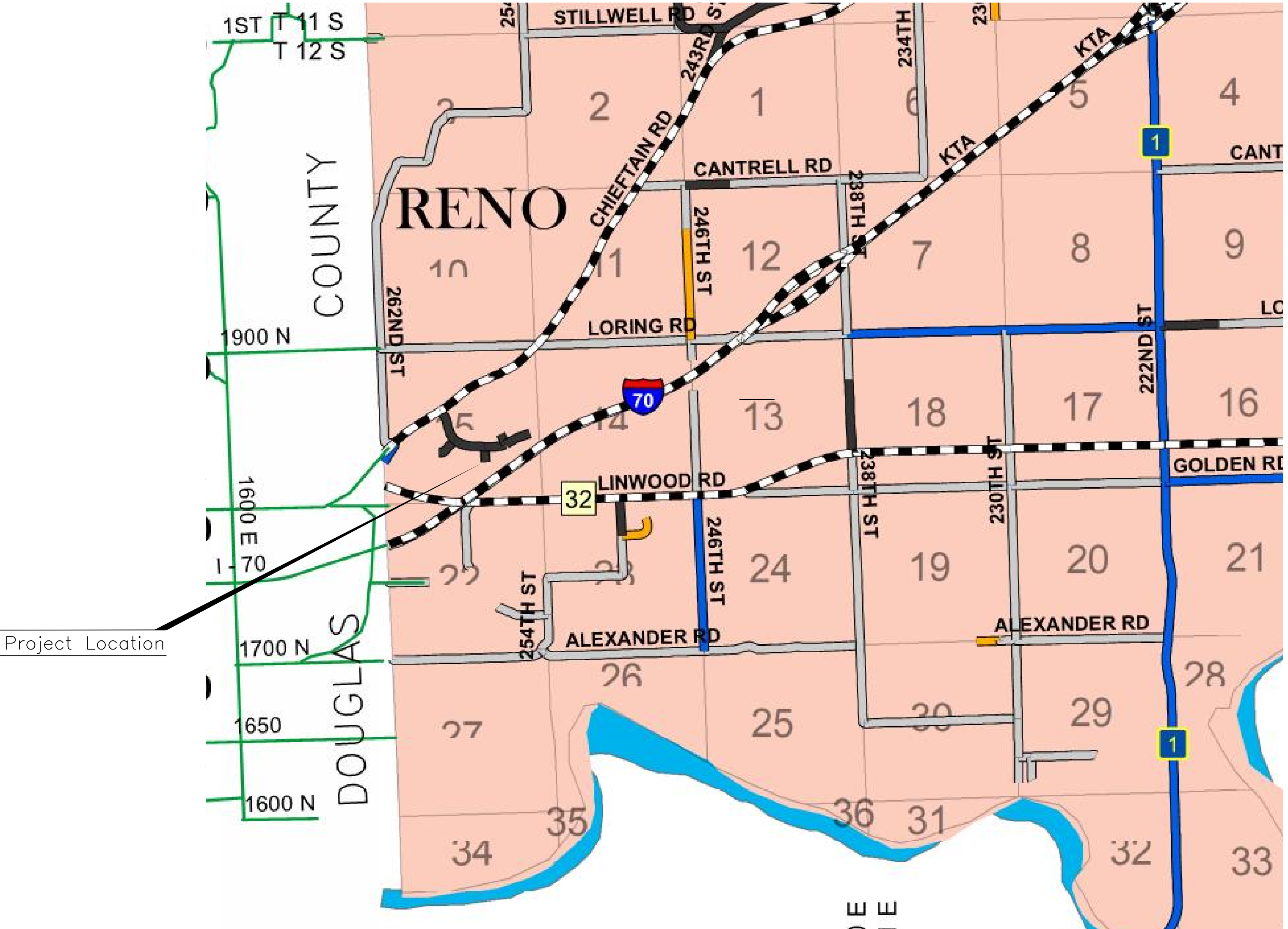
**PRELIMINARY
NOT FOR CONSTRUCTION**

- Sheet Index
1. Title Sheet
 2. Typical Section and General Notes
 3. Plan & Profile
 4. Grading & Drainage Plan
 5. Details
 6. Cross Sections
 7. Cross Sections

UTILITY COMPANIES

Evergy
AT&T
Rural Water District #13

Design Speed 30 MPH
Posted Speed 30 MPH



Owner: Larry Northrop
1420 Wakarusa Drive Suite 203
Lawrence, KS 66049

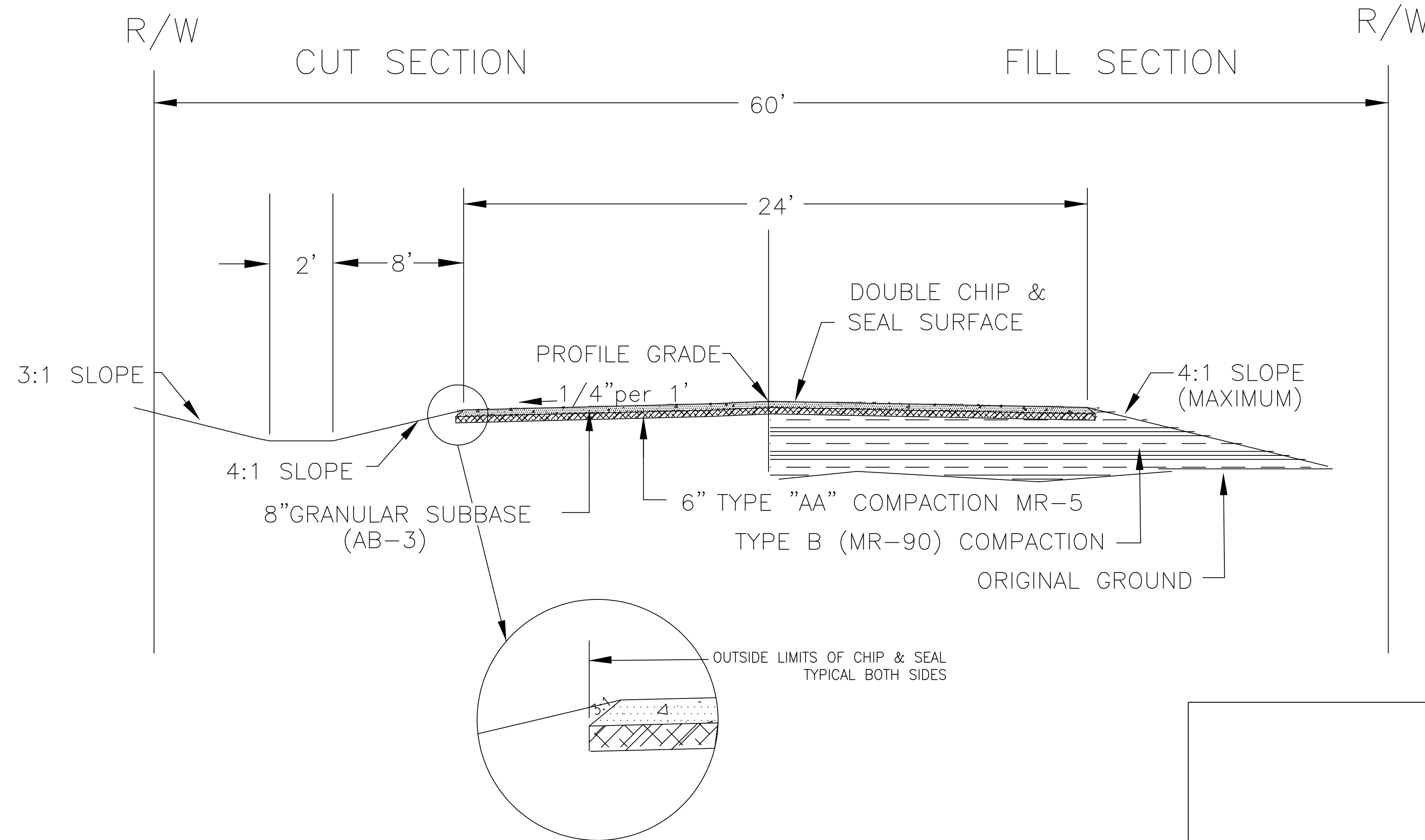
Surveyor: Herring Surveying
315 N. 5th Street
Leavenworth, KS 66048

Engineer: David Lutgen
15554 Elm Street
Basehor, KS 66007

David P. Lutgen, P.E. _____ Date _____

RYAN DRIVE EXTENSION LEAVENWORTH COUNTY TITLE SHEET	SHEET NO. 1 OF 7
Designed By: _____ Drawn By: _____ Checked By: _____ Issue Date: _____ Job No.: _____	NO. DATE REVISIONS BY APP'D 1 10/15/21 County Comments DPL 2 _____ 3 _____ 4 _____ 5 _____

Ryan Drive



General Notes:

1. Utilities shown are based upon information available to the Engineer. Contractor shall verify all utility locations before digging.
2. Contractor will post a one year maintenance bond with Leavenworth County upon acceptance of new road.
3. Owner/Developer will pay Leavenworth County for the future third chip & seal coat.
4. Contractor shall wait two weeks before placing the second chip & seal coat.
5. Contractor shall provide adequate traffic control signing as outlined in the latest edition of the MUTCD.
6. All construction shall conform with current KDOT specifications.
7. Prior to placing subbase contractor shall proof roll subgrade and obtain approval of County Engineer to proceed.
8. Contractor to obtain all necessary permits prior to construction.
9. All excavation is unclassified.
10. Contractor responsible for compliance with NPDES regulations.

Leavenworth County Dept. of Public Works

DP 8-8-02

Asphalt Chip & Seal (Double)

Contractor Specifications

1. Place 8" of AB-3 rock base with a top width of 24'. AB-3 rock base to be in accordance with KDOT Specifications for combined material (AB-3).
2. Apply Asphalt - MC-250 - In accordance with KDOT specifications.
3. Application - The MC-250 is to be placed with an approved distributor and a uniform thickness of .35 gallon per square yard, shoulder-to-shoulder coverage, but not less than 28' width.
4. Chips - The rock chips are to be limestone and to be in compliance with KDOT Specifications for CMH type material. Rock chips must be used on first & second seals. No Haydite.
5. The chips are to be applied with a self-propelled chip spreader with a minimum hopper width of 13' 6". The application is to be 30 lbs. per square yard.
6. Ambient temperature should be a minimum 60 F., and material shall not be placed during rain.
7. Prior to placing the asphalt, the road surface shall be rolled with a steel roller. The road needs to dampen approximately 1 hour before the oil application. Immediately following the chip application, the material must be rolled with a steel roller.
8. Next phase 45 to 60 days following step 5, the second chip and seal shall be laid down. The second seal shall be applied over a surface that is free of loose stone, debris, or other foreign material. Either MC-800 liquid cutback asphalt or CRS-1H asphalt emulsion may be used for this seal. MC-800, if used, shall be applied at .30 gal/sq. yd., and CRS-1H, if used, shall be applied at a rate of .35 gal/sq. yd. Cover material, as described in Step 5 above, shall be applied at a rate sufficient to prevent bleeding, but not less than 30 lbs. per square yard.
9. County to be notified and present before each seal coat is applied.
10. Pay County for future third seal.

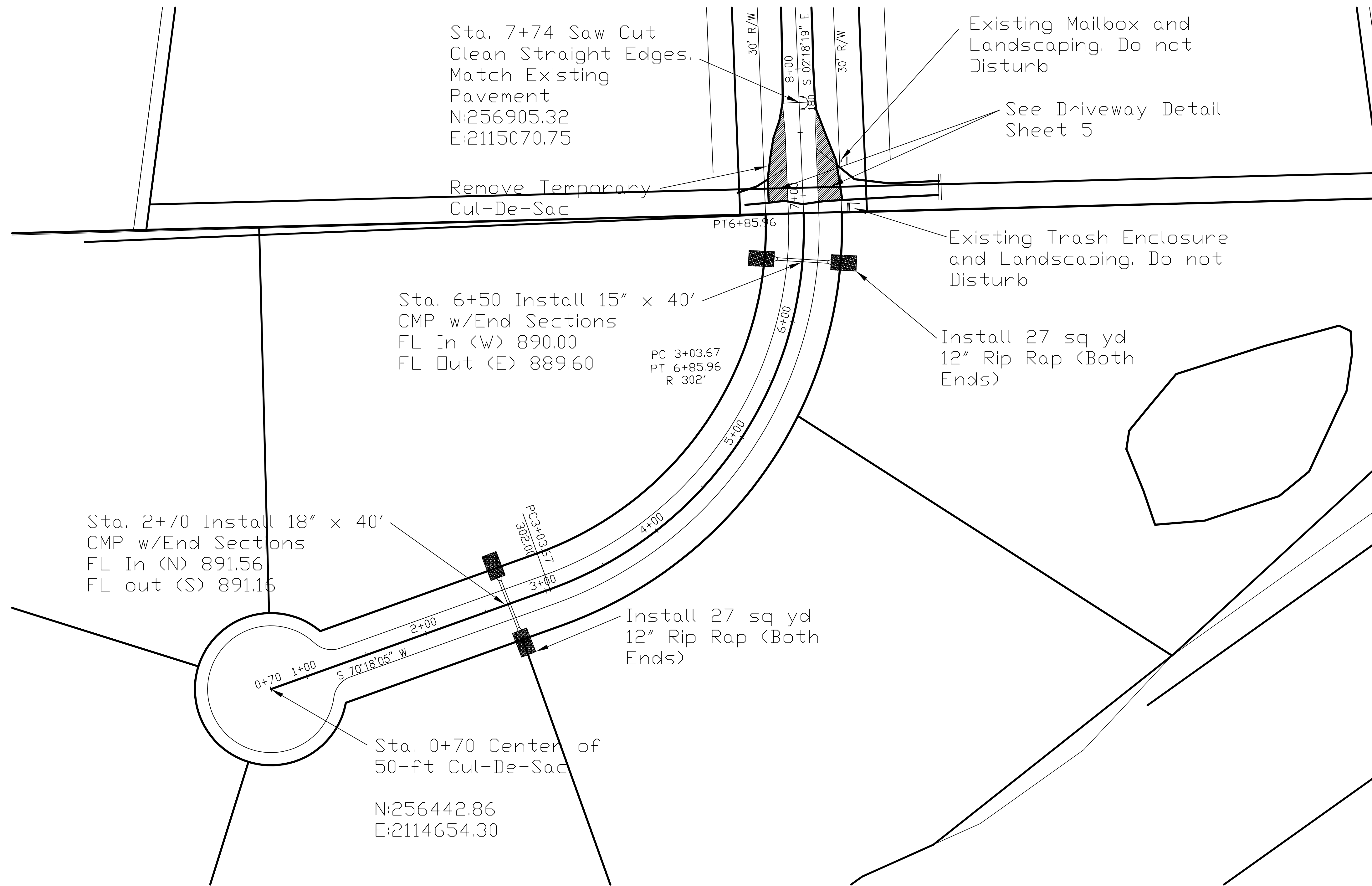
RYAN DRIVE EXTENSION
LEAVENWORTH COUNTY

TYPICAL SECTION AND QUANTITIES

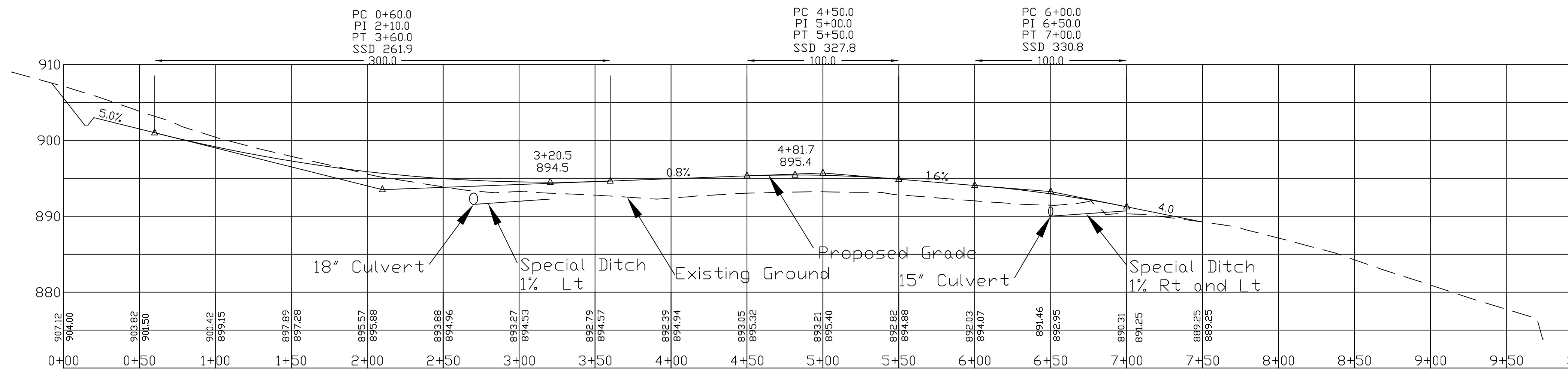
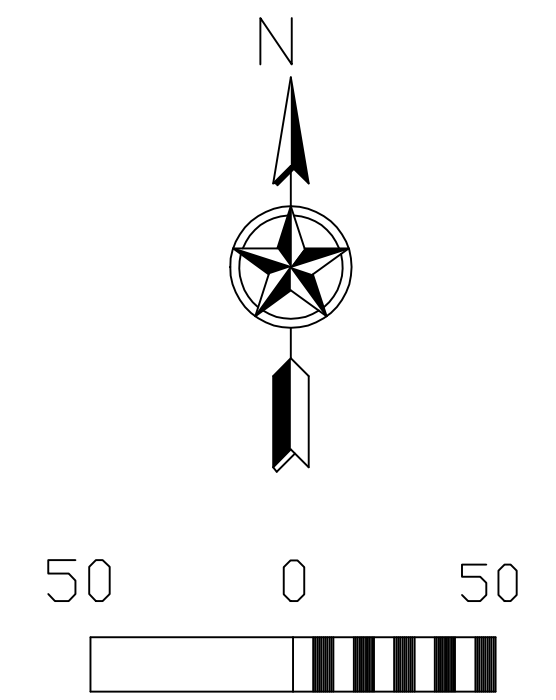
SHEET NO.
2 OF 7

Designed By: _____
Drawn By: _____
Checked By: _____
Issue Date: _____
Job No. _____

NO.	DATE	REVISIONS	BY	APP'D
5				
4				
3				
2				
1				



NOTE - All work along the existing section of Ryan Drive to remain within the existing R/W.



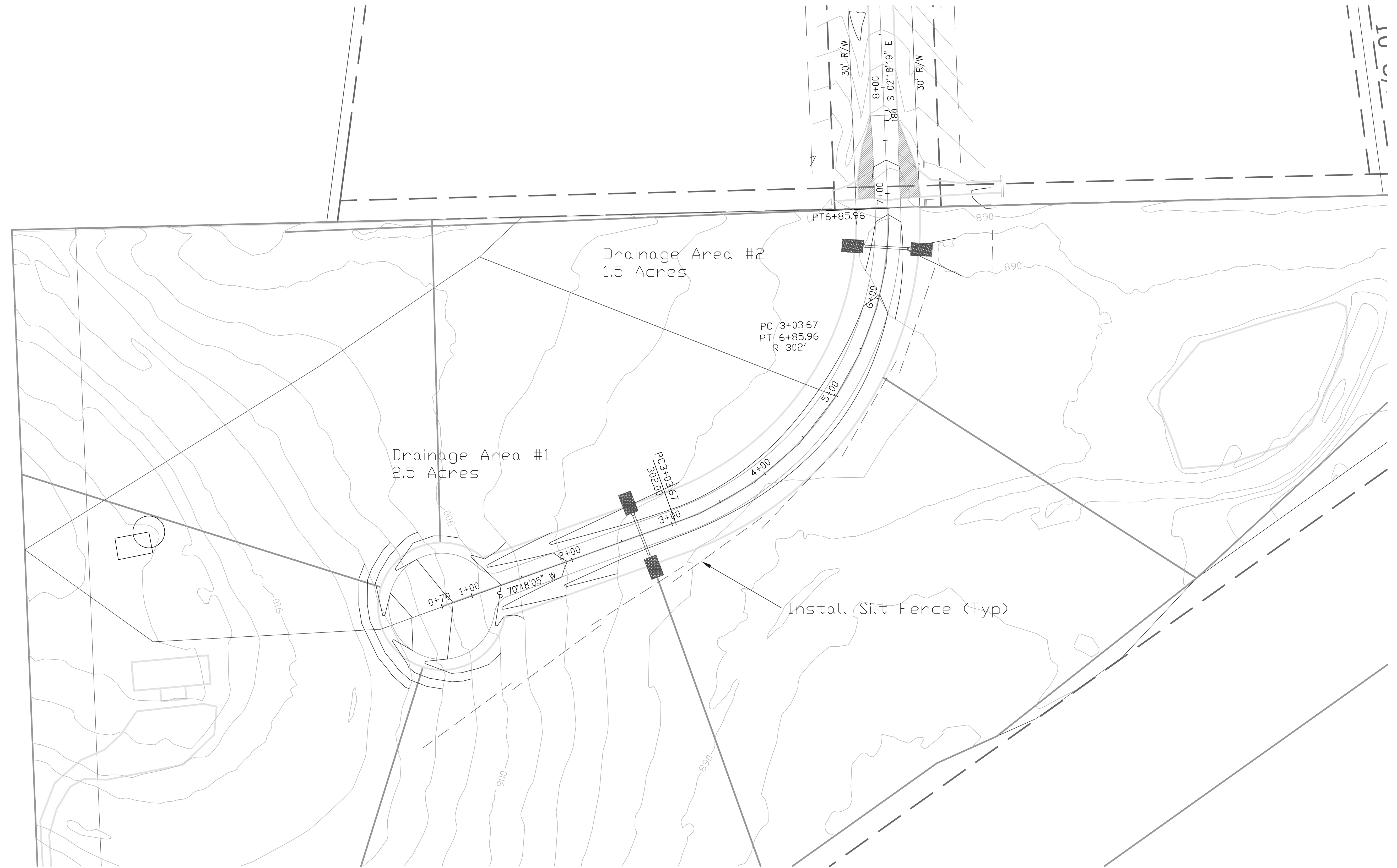
RYAN DRIVE EXTENSION
LEAVENWORTH COUNTY KS

PLAN & PROFILE

SHEET NO.
3 OF 7

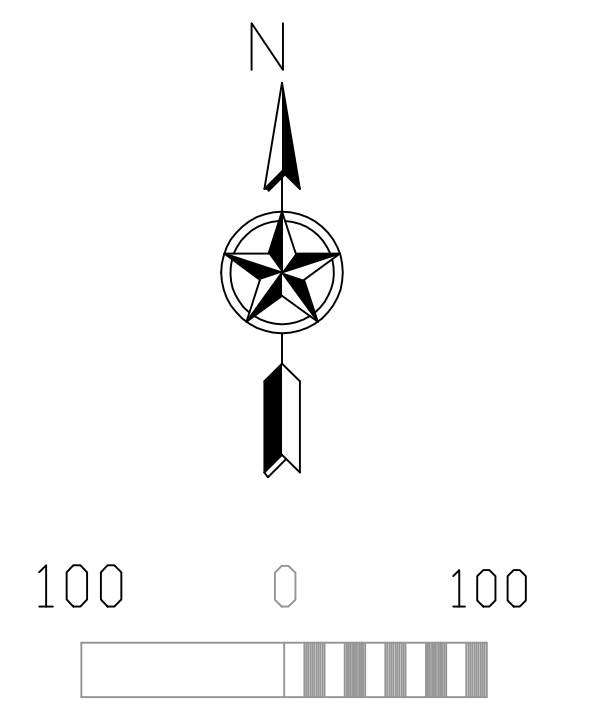
NO.	DATE	REVISIONS	BY	APP'D
5				
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Designed By	
Drawn By	
Checked By	
Issue Date	
Job No.	



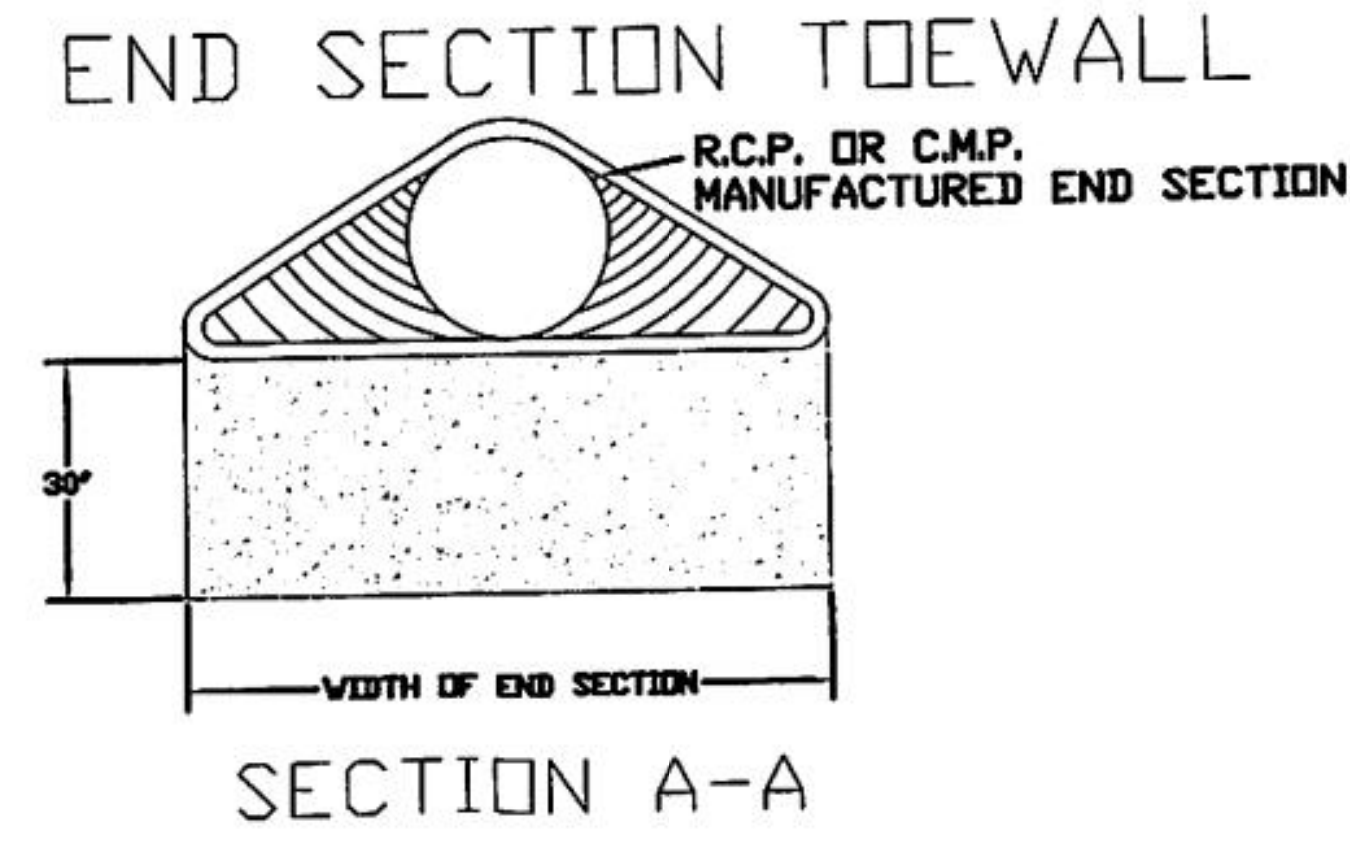
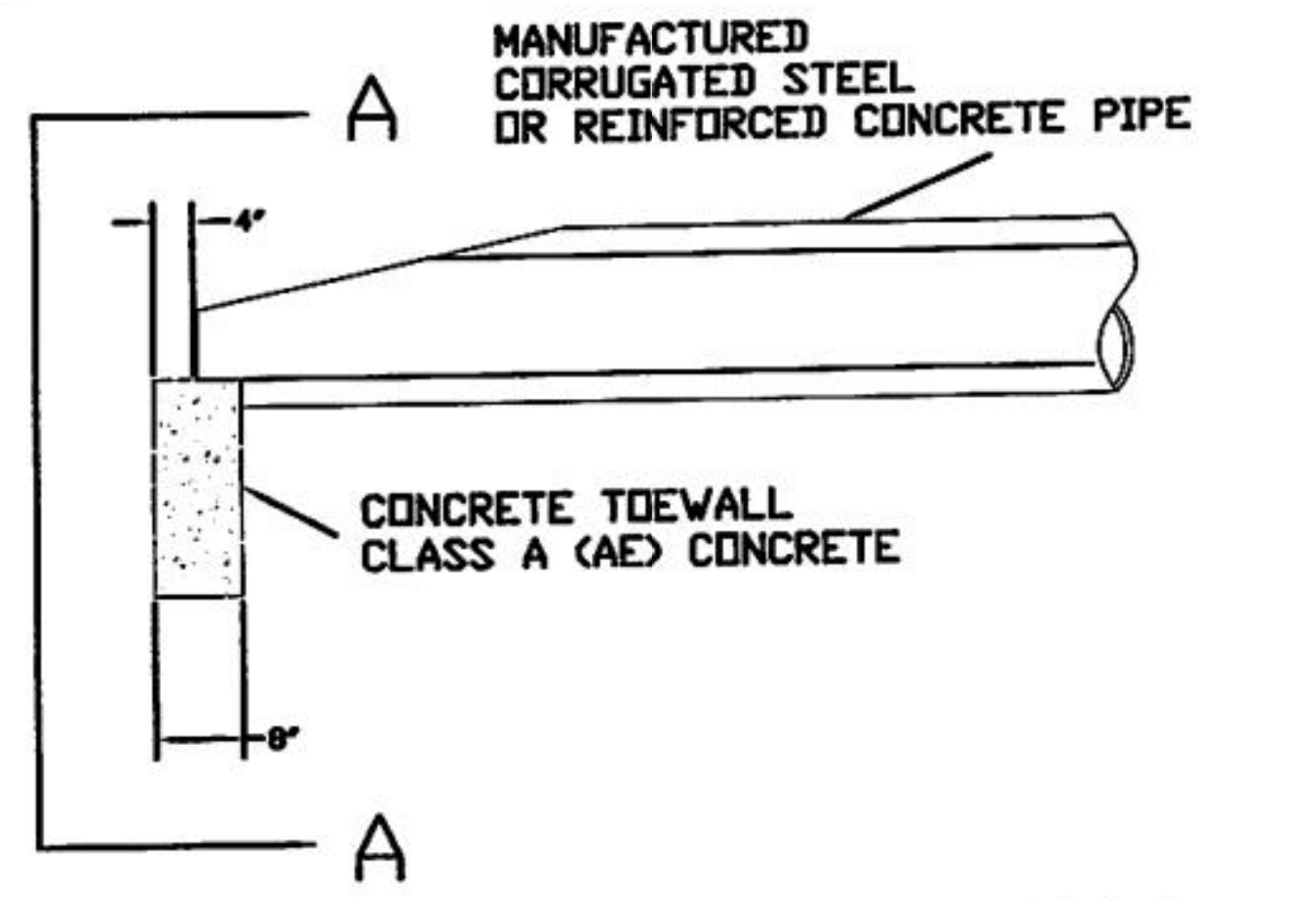
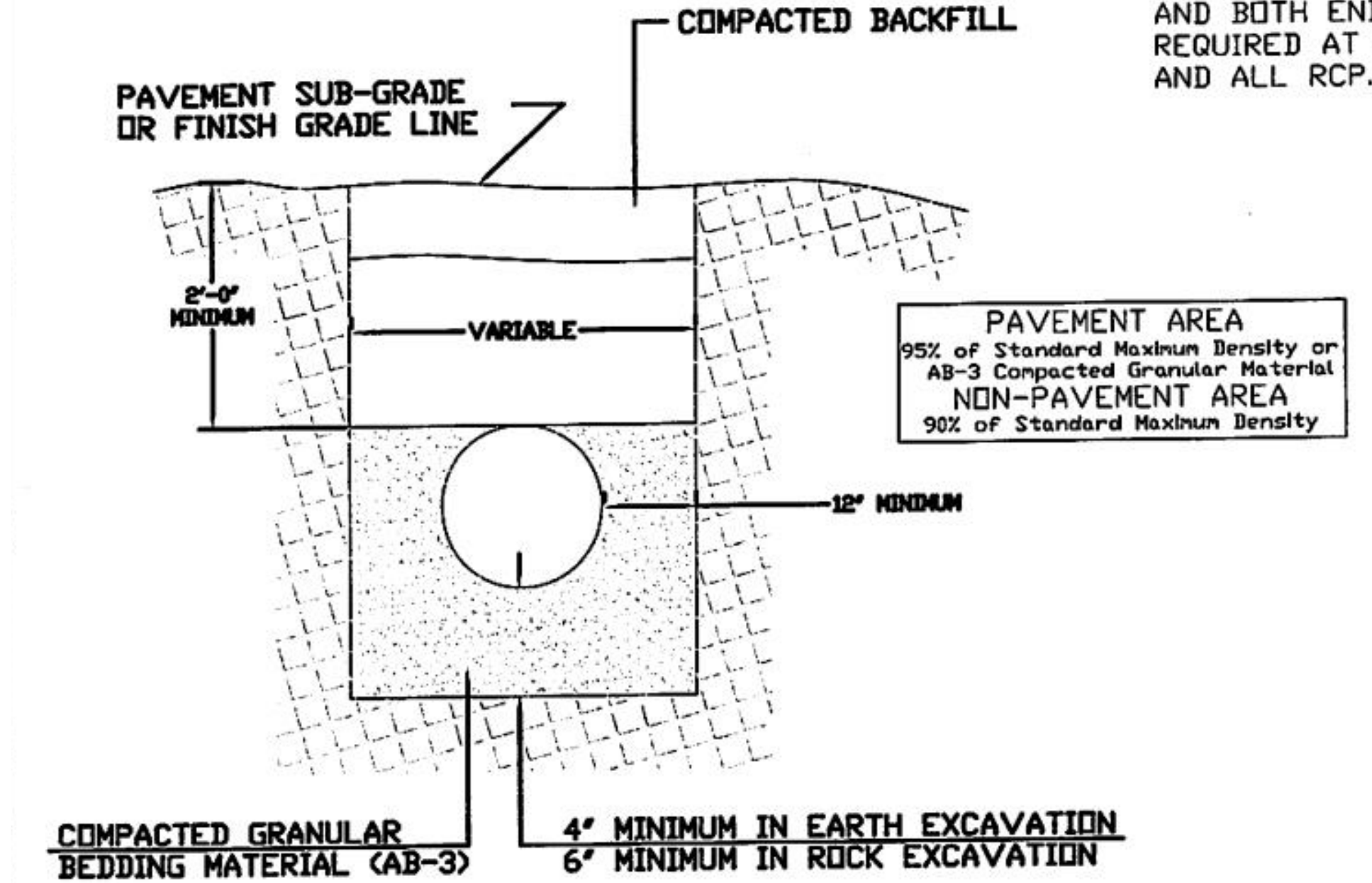
C	I	A (acres)	Q (cfs)	Diameter (in)	Capacity (cfs)	V Design (fps)	V Capacity (fps)
0.30	6.0	3.4	6.1	18	6.21	3.99	3.51
0.25	6.0	0.9	1.3	15	3.82	2.76	3.11

Culverts designed for the 25 year storm

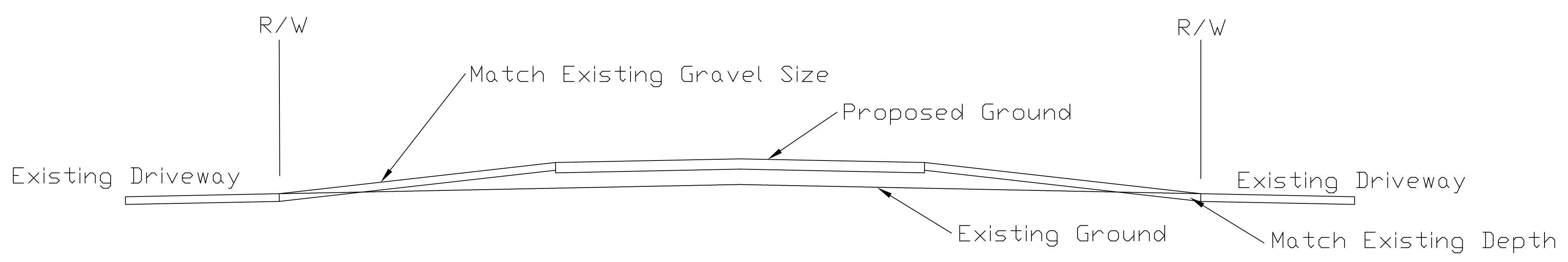


RYAN DRIVE EXTENSION LEAVENWORTH COUNTY KS GRADING & DRAINAGE PLAN	SHEET NO. 4 OF 7
Designed By: _____ Drawn By: _____ Checked By: _____ Issue Date: _____ Job No.: _____	REVISIONS NO. DATE BY APP'D

MANUFACTURED END SECTIONS ARE REQUIRED AT STORM SEWER OUTFALLS AND BOTH ENDS OF CROSSROAD TUBES. CONCRETE TOEWALLS ARE REQUIRED AT DOWNSTREAM ENDS OF CMP LARGER THAN 20" DIAMETER AND ALL RCP.

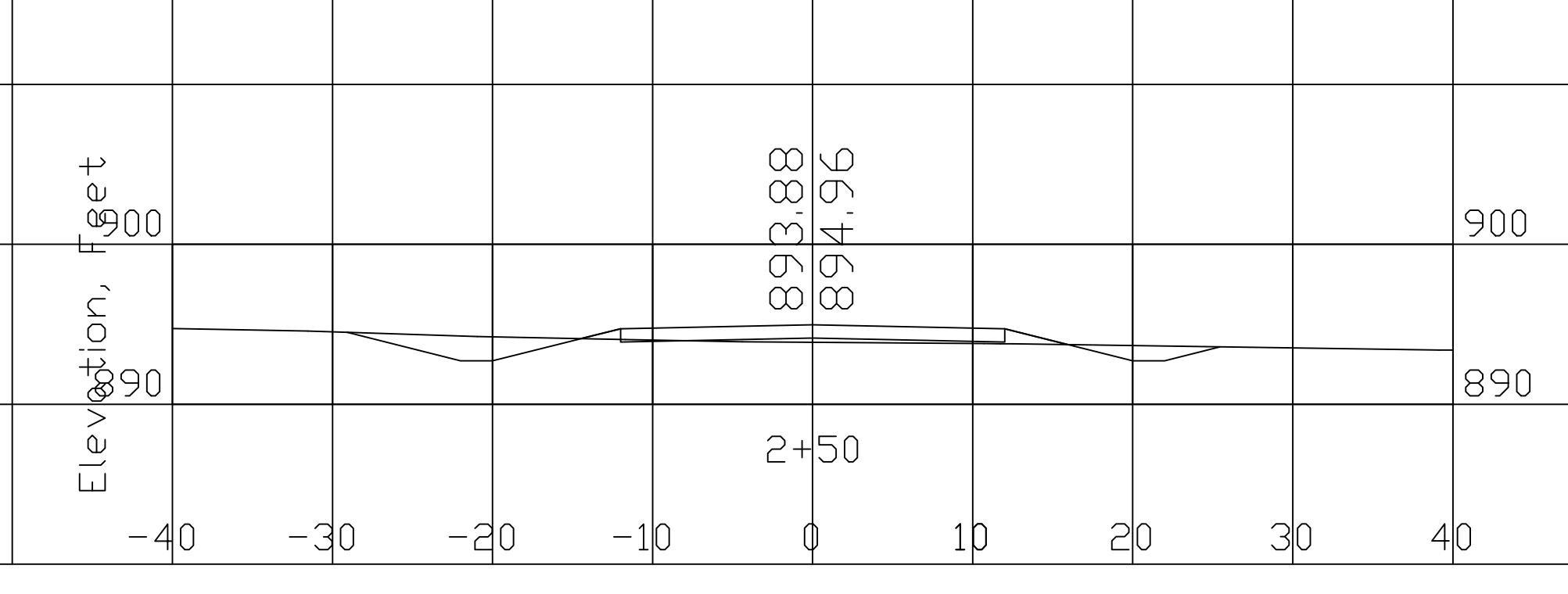
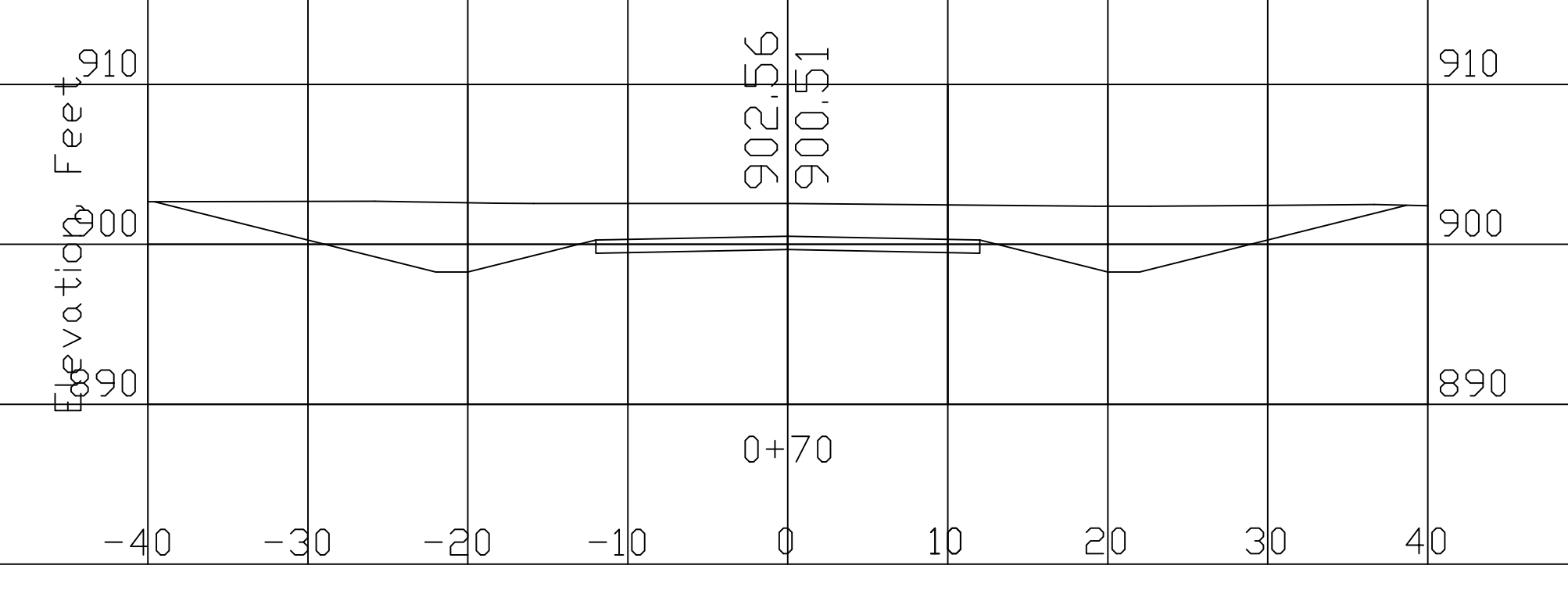
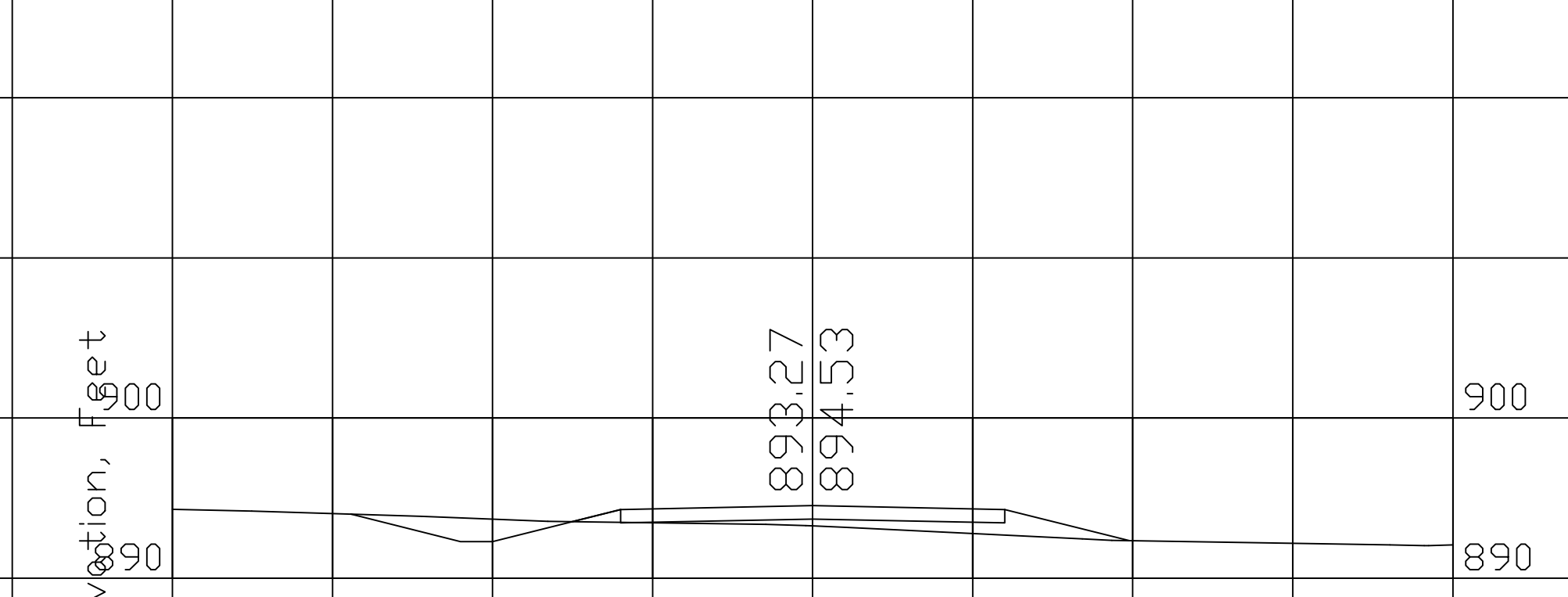
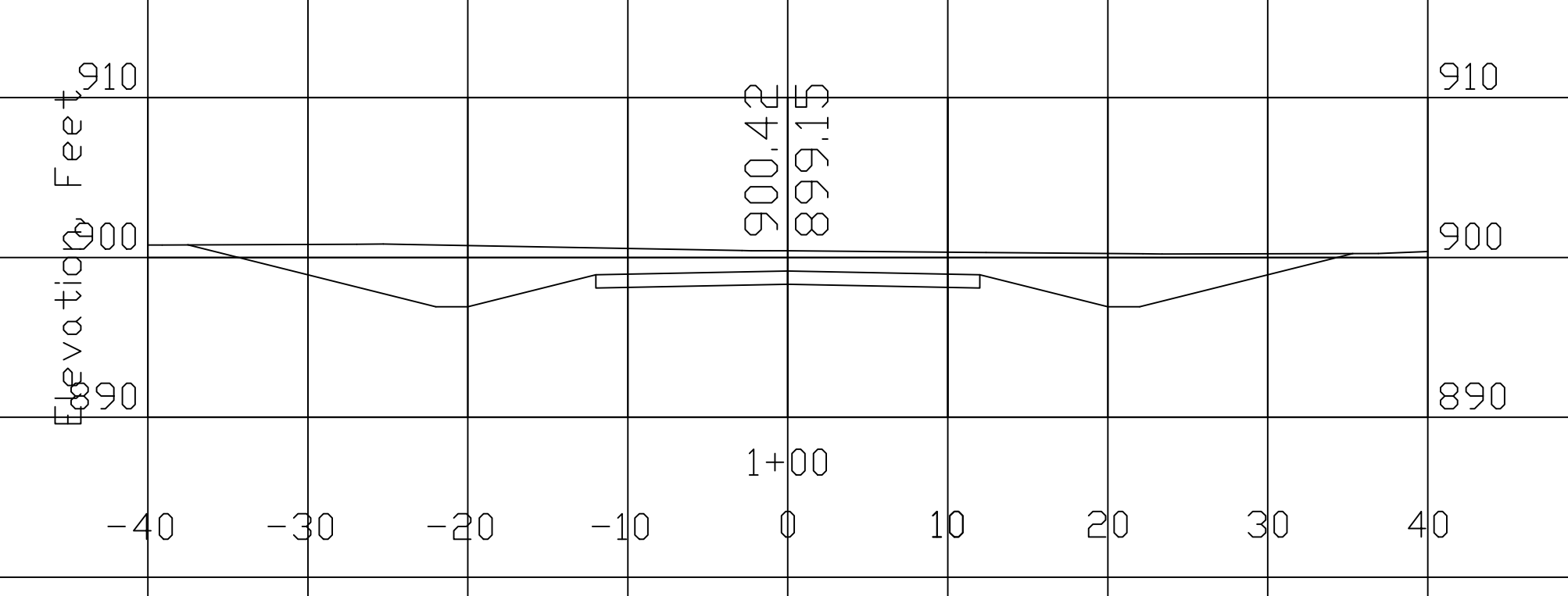
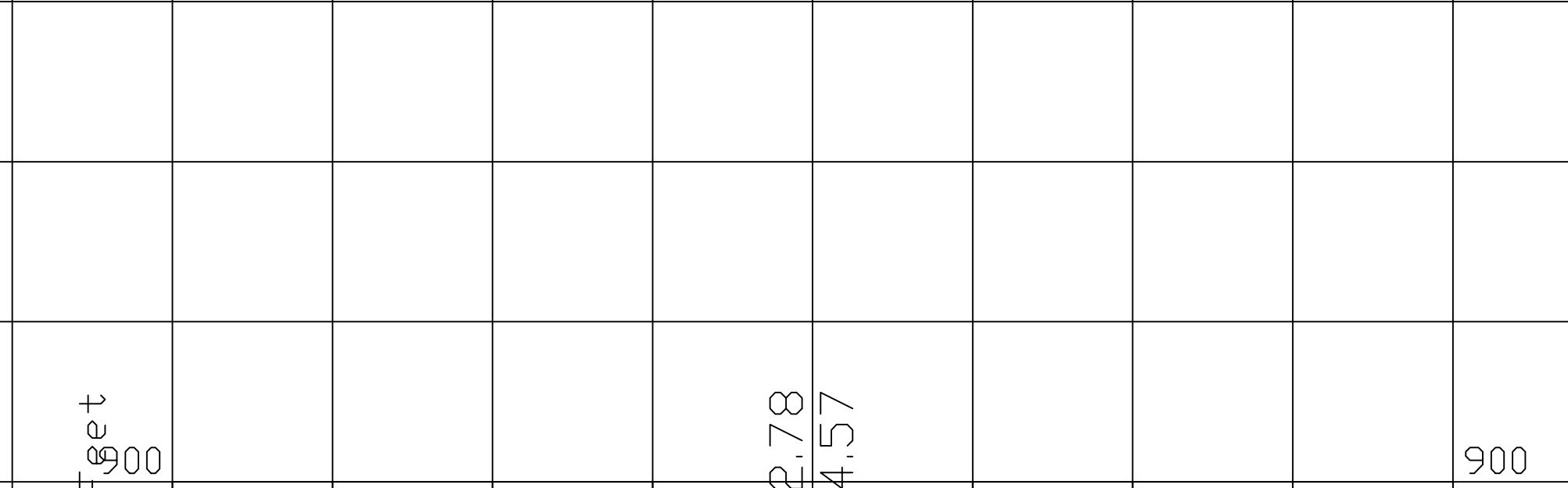
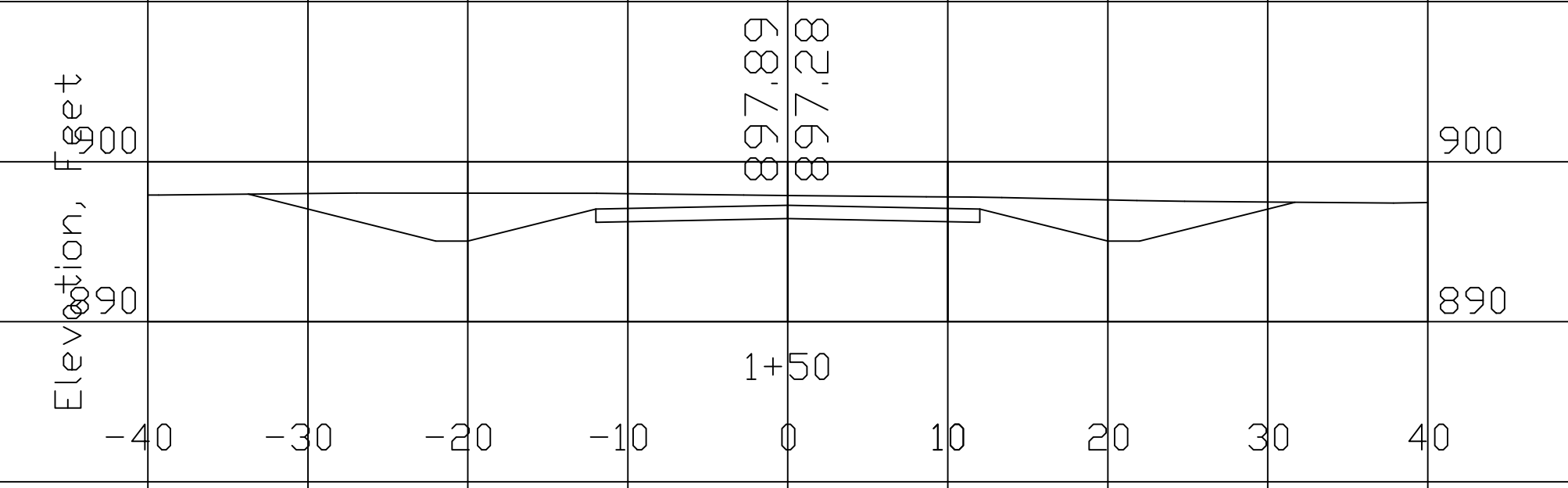
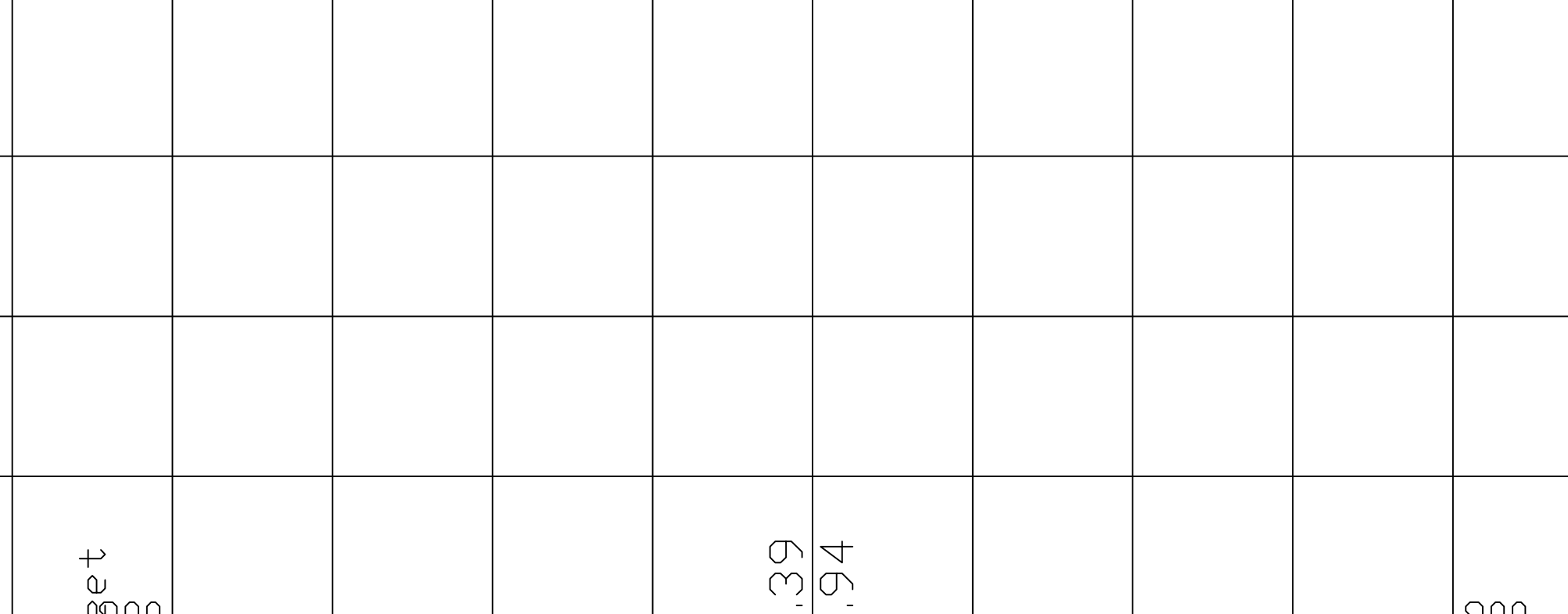
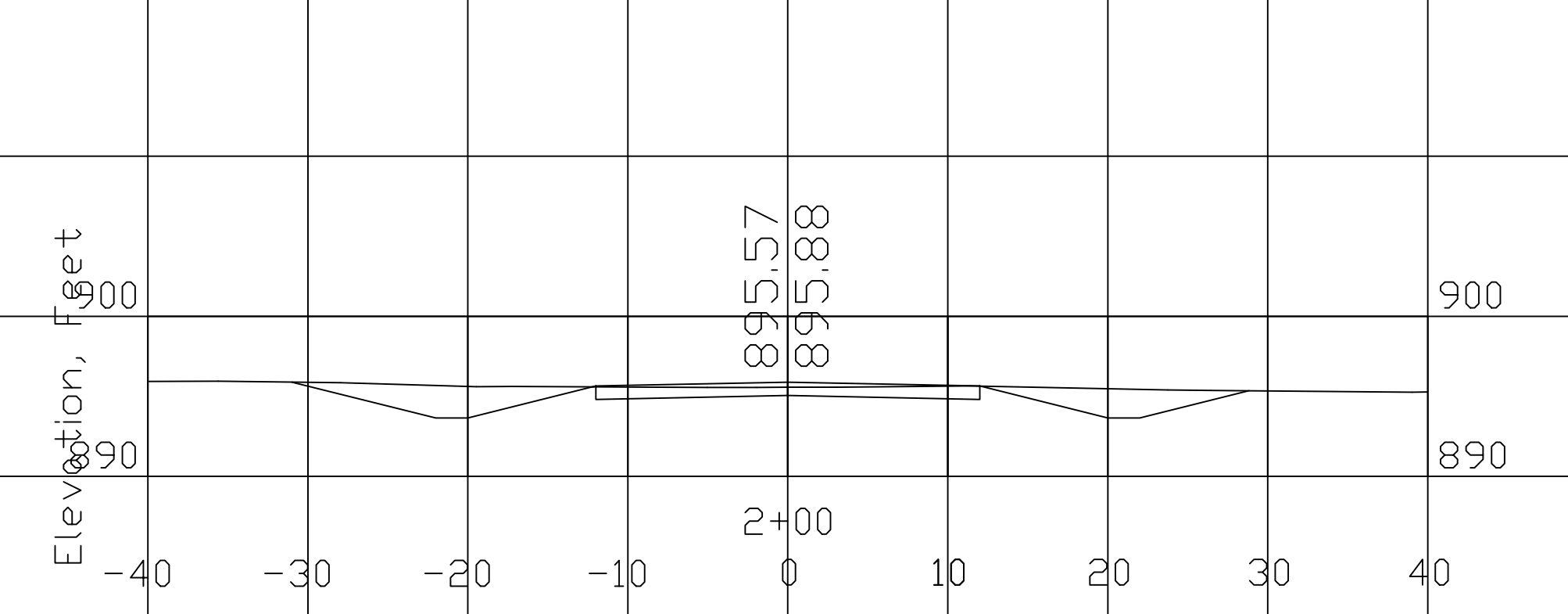


STORM SEWER TRENCH AND END SECTION TOEWALL DETAILS

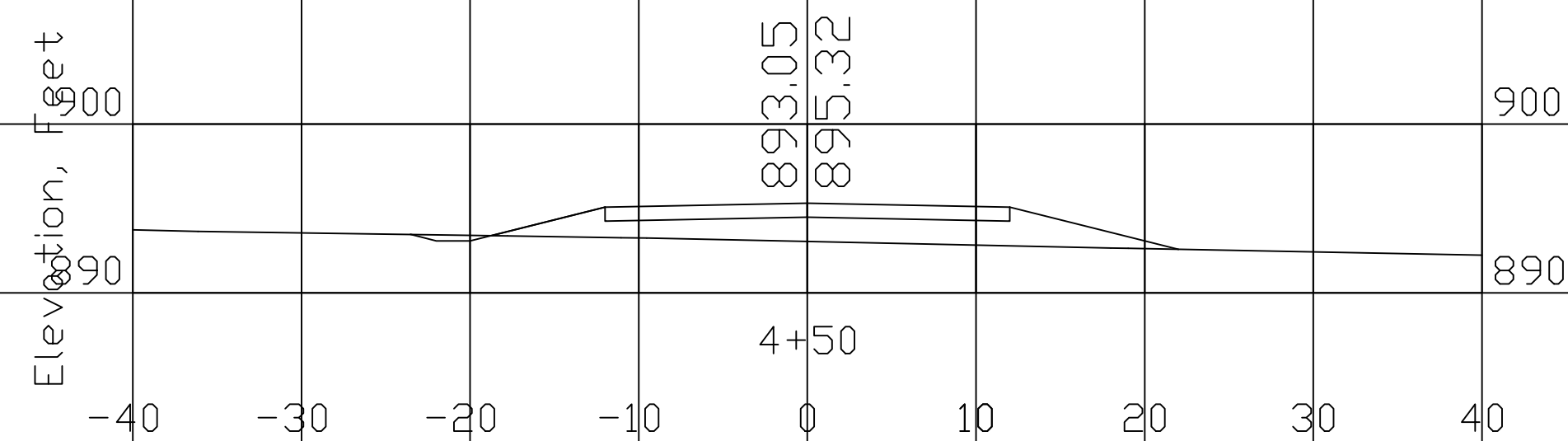
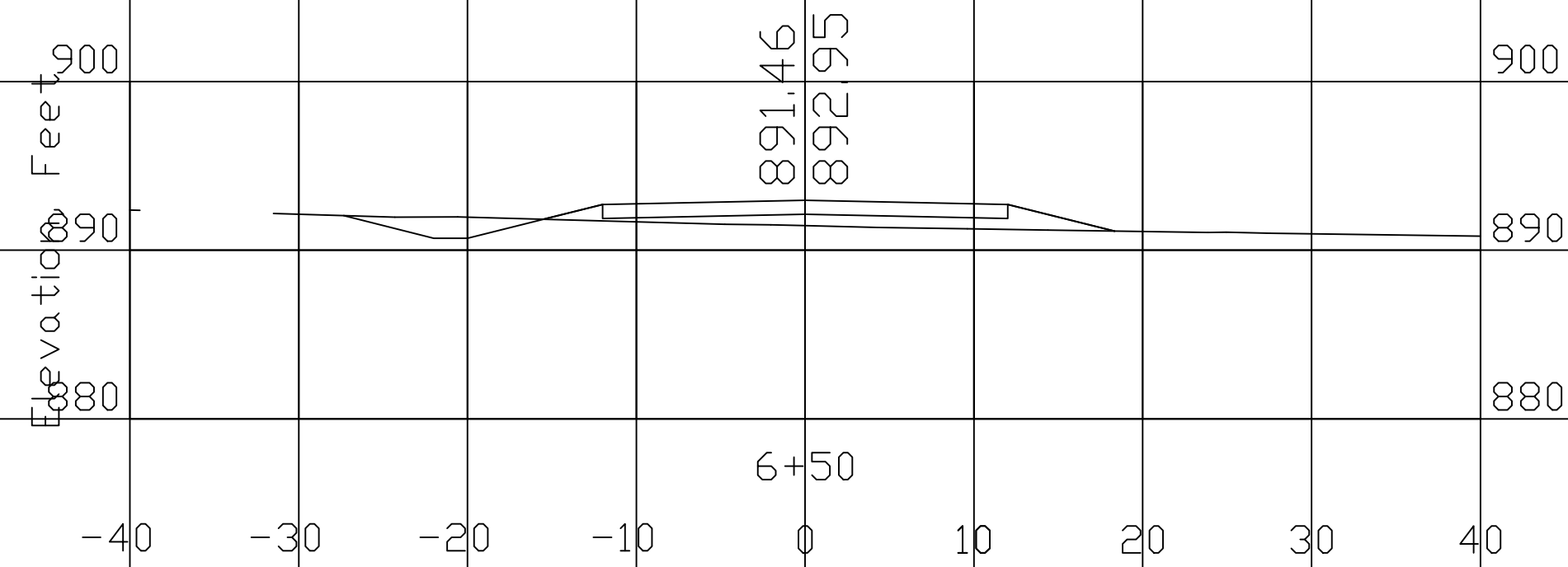
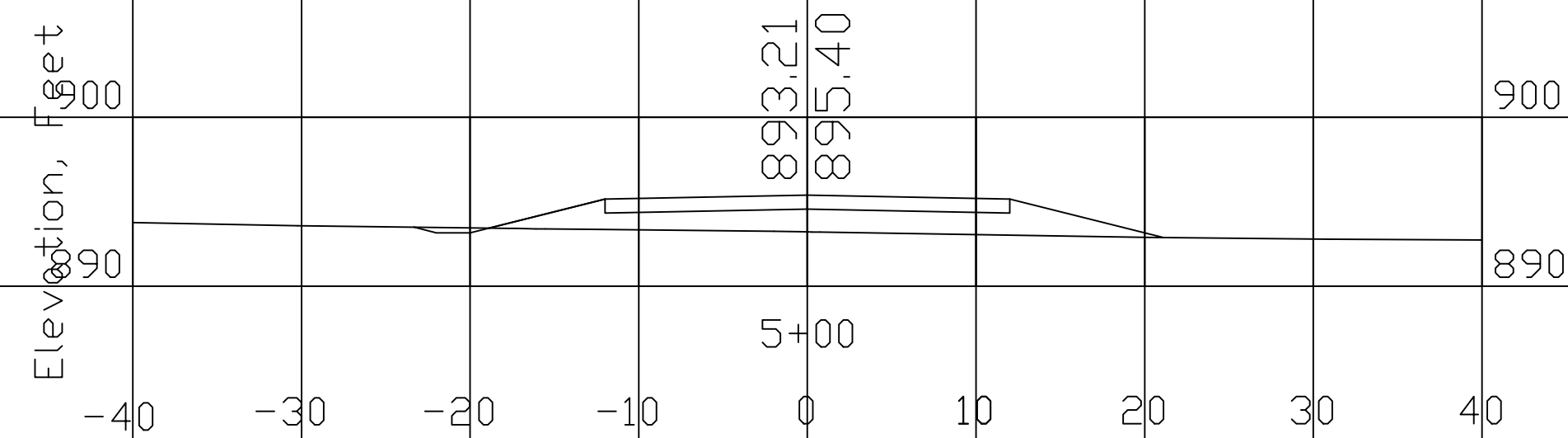
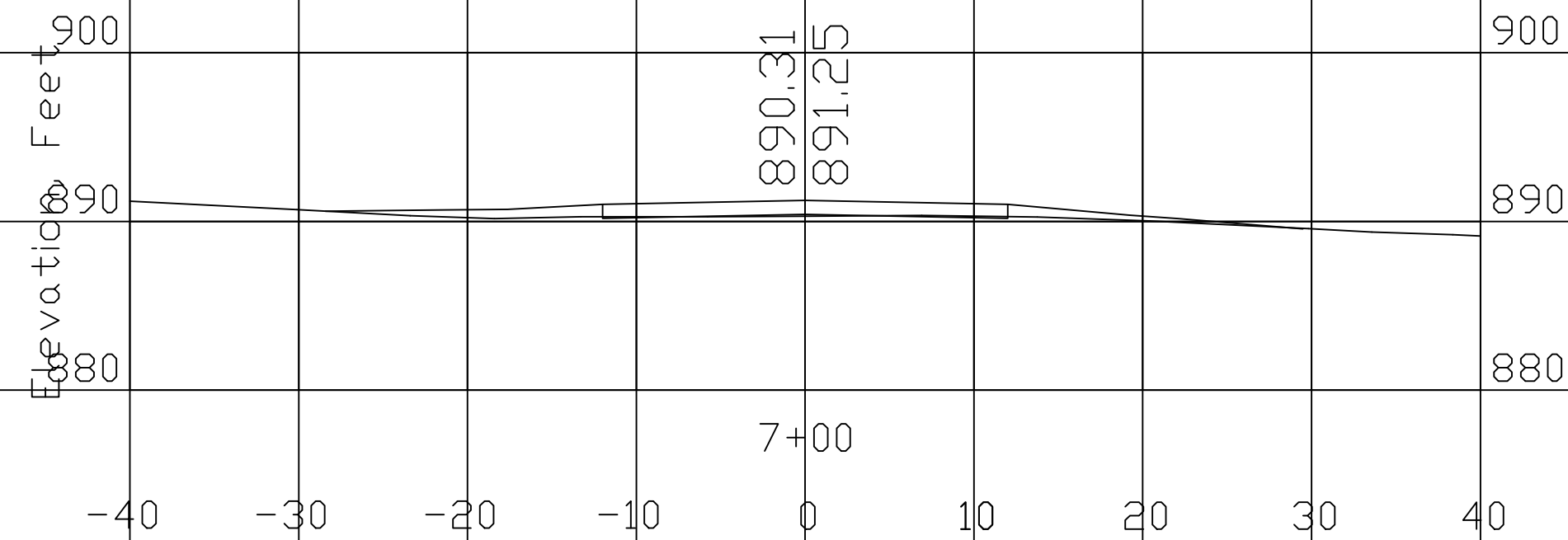
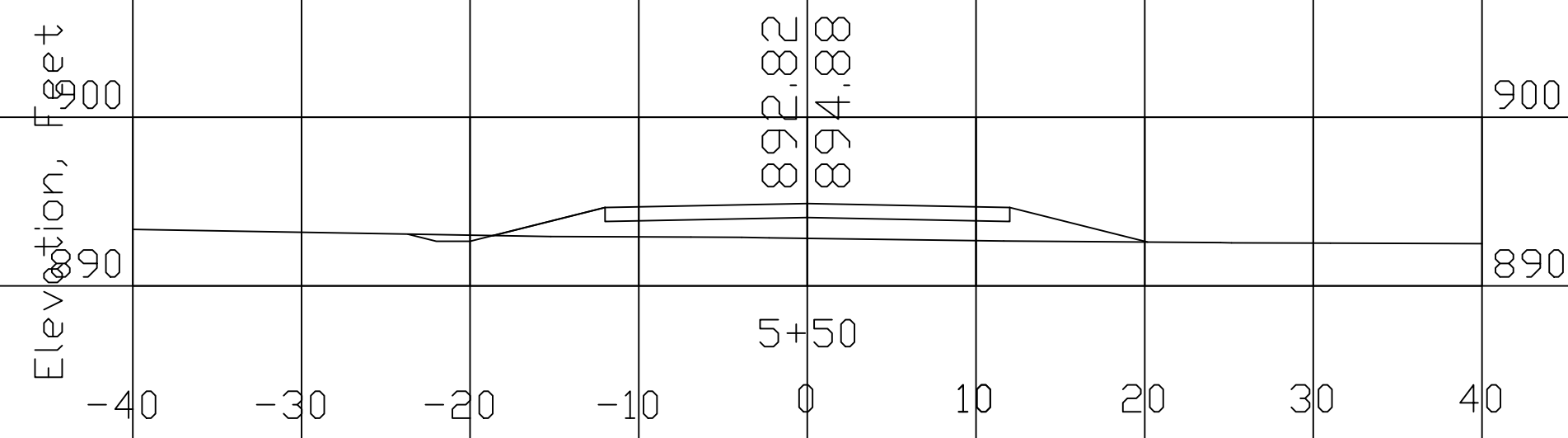
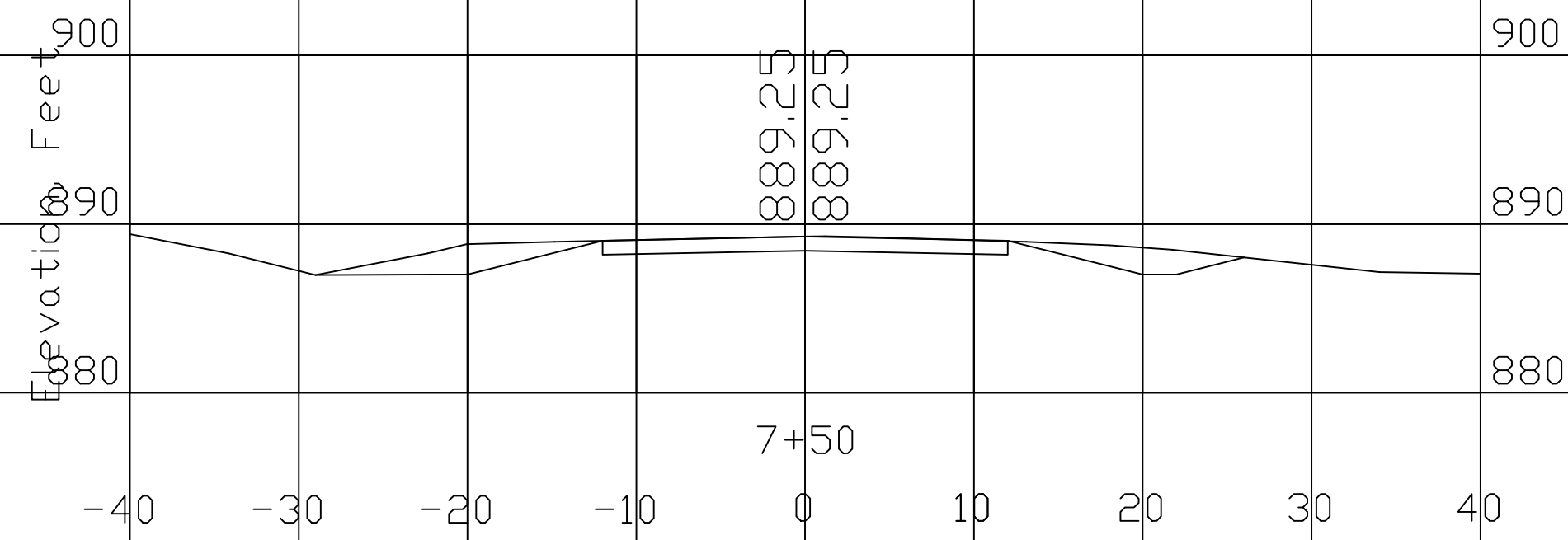
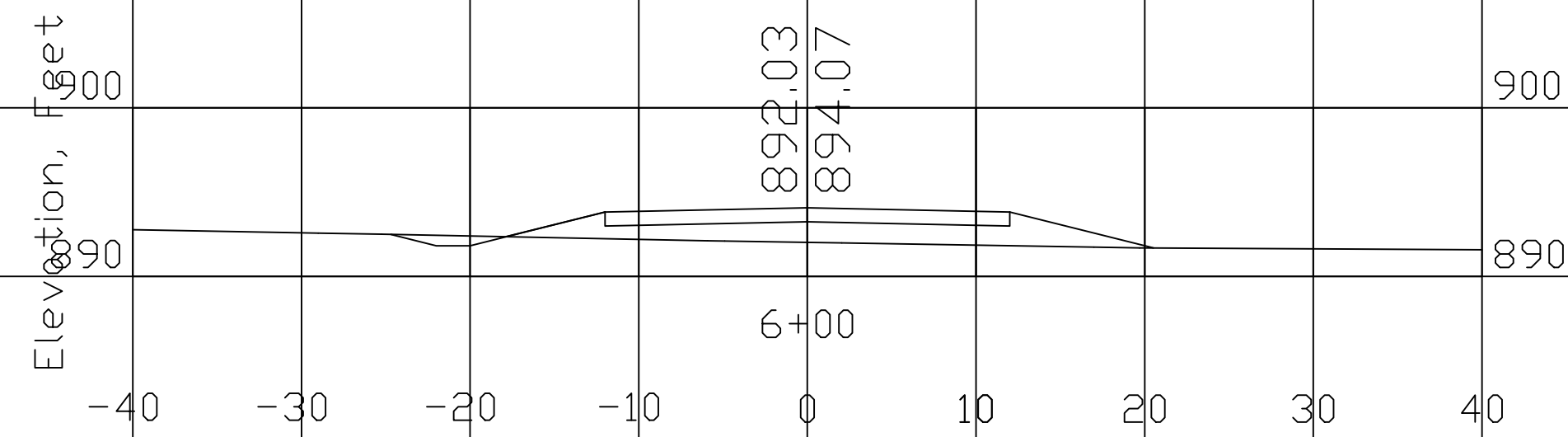


Existing Driveway Detail

5	NO.	DATE	REVISIONS	BY	APP'D
4					
3					
2					
1					
Designed By: _____ Drawn By: _____ Checked By: _____ Issue Date: _____ Job No.: _____					
RYAN DRIVE EXTENSION LEAVENWORTH COUNTY KS DETAILS					
SHEET NO. 5 OF 7					



H=10
 V=10



H=10
V=10

MEMO

To: Krystal Voth
From: Chuck Magaha
Subject: High Prairie Point South
Date: September 29, 2021

Krystal, thank you for the opportunity to review the preliminary plat of the “High Prairie Point South” subdivision submitted by Larry Northrop. For this subdivision I am going to recommend (1) fire hydrant to be located in the following area. A Fire Hydrant should be located in the Cul-de-sac on the proposed extension of Ryan Drive to the far South West end by lot 4 of the original Ryan Drive. A fire Hydrant already exist on the existing Ryan Drive where this proposed extension will be placed. . If you have any questions please feel free to contact me at 684-0457.

From: [Gary O bennett](#)
Sent: Monday, September 27, 2021 4:24 PM
To: [Gentzler, Joshua](#); 'Steven.Taylor@KS.gov'; 'LTorneden@rtsd21.com'; Bennett9@embarqmail.com; 'Tyler.rebel@evergy.com'; [Magaha, Chuck](#); [Miller, Jamie](#); [Patzwald, Joshua](#); [Van Parys, David](#)
Subject: Re: DEV-21-164 Review request for High Prairie Pointe South Plat

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

The water district has no objection to this application.

Gary Bennett RWD 10

From: Joshua <JGentzler@leavenworthcounty.gov>
To: Steven.Taylor@KS.gov <Steven.Taylor@KS.gov>; LTorneden@rtsd21.com <LTorneden@rtsd21.com>; Bennett9 <Bennett9@embarqmail.com>; Tyler.rebel@evergy.com <Tyler.rebel@evergy.com>; Chuck <cmagaha@lvsheriff.org>; Jamie <JMiller@leavenworthcounty.gov>; Joshua <jpatzwald@lvsheriff.org>; David <DVanParys@leavenworthcounty.gov>
Date: Monday, 27 September 2021 4:18 PM CDT
Subject: DEV-21-164 Review request for High Prairie Pointe South Plat

Good afternoon,

The Leavenworth County Department of Planning and Zoning has received a request for a Preliminary Plat for a 6-lot plat, High Prairie Pointe South, located at 25800 Linwood Road.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by End of Business on Monday, October 4th.

If you have any questions or need additional information, please contact me at (913) 684-0464 or at JGentzler@LeavenworthCounty.gov.

Thank you,

Joshua Gentzler

Planner II

[Planning & Zoning](#)

Leavenworth County

913.684.0464

From: [Mitch Pleak](#)
Sent: Tuesday, November 9, 2021 2:57 PM
To: [Gentzler, Joshua](#)
Cc: [Allison, Amy](#); [Anderson, Lauren](#); [Noll, Bill](#); [019-2831](#)
Subject: RE: DEV-21-164 High Prairie Pointe South Plat Review - Roadway
Attachments: Attachments.html

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Joshua,
Lauren and I have no further comments regarding the preliminary improvement plans associated with the preliminary plan. In the file in the link below includes comments to be addressed during the final improvement plan submittal.

Citrix Attachments

Expires May 8, 2022

2021.11.08 DEV-21-164 Ryan Drive Prelim.pdf

3.1 MB

[Download Attachments](#)

Mitchell Pleak uses Citrix Files to share documents securely.

Thanks,
Mitch Pleak

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Sent: Tuesday, November 9, 2021 9:43 AM
To: Mitch Pleak <mpleak@olsson.com>; Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Cc: Allison, Amy <AAllison@leavenworthcounty.gov>
Subject: RE: DEV-21-164 High Prairie Pointe South Plat Review - Roadway

Attached is the Roadway Plans for Ryan Drive

Joshua Gentzler
[Planning & Zoning](#)

From: Gentzler, Joshua
Sent: Tuesday, November 9, 2021 8:47 AM
To: 'Mitch Pleak' <mpleak@olsson.com>; Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Cc: Allison, Amy <AAllison@leavenworthcounty.gov>
Subject: RE: DEV-21-164 High Prairie Pointe South Plat Review - PP

Mitch and Lauren,

Joe sent over this plat for review.

Joshua Gentzler

[Planning & Zoning](#)

From: Mitch Pleak <mpleak@olsson.com>
Sent: Tuesday, November 2, 2021 2:29 PM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Cc: Allison, Amy <AAllison@leavenworthcounty.gov>; Anderson, Lauren <LAnderson@leavenworthcounty.gov>; Noll, Bill <BNoll@leavenworthcounty.gov>; 019-2831 <019-2831@olsson.com>
Subject: RE: DEV-21-164 High Prairie Pointe South Plat Review

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Josh,
Lauren and I have reviewed the preliminary plans, PP, and drainage report. In the link below includes comments for the preliminary improvement plans and PP. The revised drainage report has be reviewed with no further comments.

Citrix Attachments

Expires May 1, 2022

2021.10.25 DEV-21-164 Prelim Plat.pdf	2.1 MB
2021.10.27 DEV-21-164 Ryan Drive Extension.pdf	3.9 MB

[Download Attachments](#)

Mitchell Pleak uses Citrix Files to share documents securely.

Thanks,

Mitch Pleak

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Sent: Thursday, October 28, 2021 9:20 AM
To: Anderson, Lauren <LAnderson@leavenworthcounty.gov>; Mitch Pleak <mpleak@olsson.com>
Subject: RE: DEV-21-164 High Prairie Pointe South Plat Review

Mitch and Lauren,

Here are the revisions for High Prairie Pointe South

Joshua Gentzler
[Planning & Zoning](#)

From: Anderson, Lauren
Sent: Thursday, October 14, 2021 1:37 PM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>; Mitch Pleak <MPleak@olsson.com>
Subject: RE: DEV-21-164 High Prairie Pointe South Plat Review

Joshua,

The comment was intended to request the applicant to update the sentence to include a note that the entire Ryan Drive extension is located within DA#1.

Lauren

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>

Sent: Thursday, October 14, 2021 12:34 PM

To: Anderson, Lauren <LAnderson@leavenworthcounty.gov>; Mitch Pleak <MPleak@olsson.com>

Subject: FW: DEV-21-164 High Prairie Pointe South Plat Review

I got this question from Lutgen earlier today. Can you all respond?

Joshua Gentzler

[Planning & Zoning](#)

From: David Lutgen <dlutgen72@gmail.com>

Sent: Thursday, October 14, 2021 7:32 AM

To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>; Joe Herring <herringsurveying@outlook.com>

Subject: DEV-21-164 High Prairie Pointe South Plat Review

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Please clarify the highlighted comment below. I am not clear on how this fits into the fourth sentence.

Thanks

David Lutgen

Below are Public Works' comments regarding the Drainage Report.

- Parcel Information statement: Revise K-32 to I-70.
- Developed Condition paragraph:
 - Revise narrative to include the following: 1st Sentence - Proposed plat includes 6 lots which already includes an existing home.
 - Revise narrative to include the following: 4th Sentence – add road extension.
 - Add statement regarding remainder of the lot to be lawn (if applicable).

Developed Conditions – The proposed development will create five new residential building lot. The development includes the construction of a new road. The road will connect to Ryan Drive extend southwest approximately 680-ft. **The new homes are all assumed to be located in DA #1.** A composite c value was calculated for the drainage area as shown in the table below. The composite c value is based on the soil type, slopes, and land use, see Exhibits #2 and #3. The developed storm water runoff calculations include 10,000 sq ft of impervious area for the new building lot. This impervious area will account for the driveway, house footprint, and outbuilding. A composite c value for the drainage area was calculated as shown below.

From: [Anderson, Lauren](#)
Sent: Friday, November 19, 2021 8:47 AM
To: [PZ](#)
Subject: FW: DEV-21-164 High Prairie Pointe South Plat Review

Joshua,

It looks like it went to Amy, my apologies.

Lauren

From: Mitch Pleak <mpleak@olsson.com>
Sent: Monday, November 15, 2021 4:16 PM
To: Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Cc: Allison, Amy <AAllison@leavenworthcounty.gov>; Noll, Bill <BNoll@leavenworthcounty.gov>; 019-2831 <019-2831@olsson.com>
Subject: RE: DEV-21-164 High Prairie Pointe South Plat Review

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Joshua,
Lauren and I have reviewed the revised PP with no further comments.
Thanks,
Mitch Pleak

From: Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Sent: Monday, November 15, 2021 9:05 AM
To: Mitch Pleak <mpleak@olsson.com>
Subject: FW: DEV-21-164 High Prairie Pointe South Plat Review

See attached, discuss tomorrow after our 1:30?

Lauren

From: Joe Herring <herringsurveying@outlook.com>
Sent: Thursday, November 11, 2021 5:43 PM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>; Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Subject: Re: DEV-21-164 High Prairie Pointe South Plat Review

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

See attached revision for the preliminary plat

Thank you - Joe Herring

J.Herring Inc., dba,Herring Surveying Company
315 N. 5th Street, Leavenworth, KS 66048
913-651-3858 - ROCK CHALK!

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Sent: Tuesday, November 9, 2021 11:51 AM
To: herringsurveying@outlook.com <herringsurveying@outlook.com>
Subject: DEV-21-164 High Prairie Pointe South Plat Review

Joe,

Public Works has the following comment on the November 8th revision:

- It appears the revised PP didn't capture any of the comments sent on Nov. 2nd.

Please review the attached documents for Public Works' comment on the Preliminary Plat

Joshua Gentzler
[Planning & Zoning](#)

From: Gentzler, Joshua
Sent: Tuesday, November 2, 2021 2:39 PM
To: 'Joe Herring' <herringsurveying@outlook.com>; David Lutgen <dlutgen72@gmail.com>
Subject: RE: DEV-21-164 High Prairie Pointe South Plat Review

Joe,

Provided are Planning and Public Work's comments on the 10.24 Plat and the 10.27 revision of Ryan Drive roadway plans.

Public Works has no further comment on the Drainage Report.

Joshua Gentzler
[Planning & Zoning](#)

From: Joe Herring <herringsurveying@outlook.com>
Sent: Sunday, October 24, 2021 12:30 PM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>; David Lutgen <dlutgen72@gmail.com>
Subject: Re: DEV-21-164 High Prairie Pointe South Plat Review

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

See attached revisions.

Josh - can not read/open your comments.

David - included you to agree with drainage easement thru lot 1. Easement for the other pipe is not needed - area will be contained in the provided 20' U/E & D/E along the front of the Lots.

Easement for sign maintenance is per this plat - if there is a dedicated easement it does not show up on title - will ask them tomorrow to take another look.

Also changed the scale to 1" = 60' - this takes care of any masking or realignment of dimensions along lot lines.

Thank you - Joe Herring

J.Herring Inc., dba,Herring Surveying Company
315 N. 5th Street, Leavenworth, KS 66048
913-651-3858 - ROCK CHALK!

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Sent: Tuesday, October 12, 2021 10:39 AM
To: herringsurveying@outlook.com <herringsurveying@outlook.com>
Subject: DEV-21-164 High Prairie Pointe South Plat Review

Joe,

Attached are Planning and Public Works comments for the submitted Preliminary Plat.

Below are Public Works' comments regarding the Drainage Report.

- Parcel Information statement: Revise K-32 to I-70.
- Developed Condition paragraph:
 - Revise narrative to include the following: 1st Sentence - Proposed plat includes 6 lots which 1 of the lots already includes an existing home.
 - Revise narrative to include the following: 4th Sentence – add road extension.
 - Add statement regarding remainder of the lot to be lawn (if applicable).
- Drainage Area Map:
 - Provide an existing and proposed drainage area maps to depict the changes in conveyance.
 - Add assumed building locations.
 - Depict proposed culverts and label such.

Regards,

Joshua Gentzler

Planner II

[Planning & Zoning](#)

Leavenworth County

913.684.0464

HIGH PRAIRIE POINTE SOUTH

A Subdivision in the South Half of Section 15, Township 12 South, Range 20 East of the 6th P.M., Leavenworth County, Kansas.

PRELIMINARY PLAT

PREPARED FOR:

Larry Northrop
25800 Linwood Road
Lawrence, Kansas
PID # 215-15-0-00-00-022

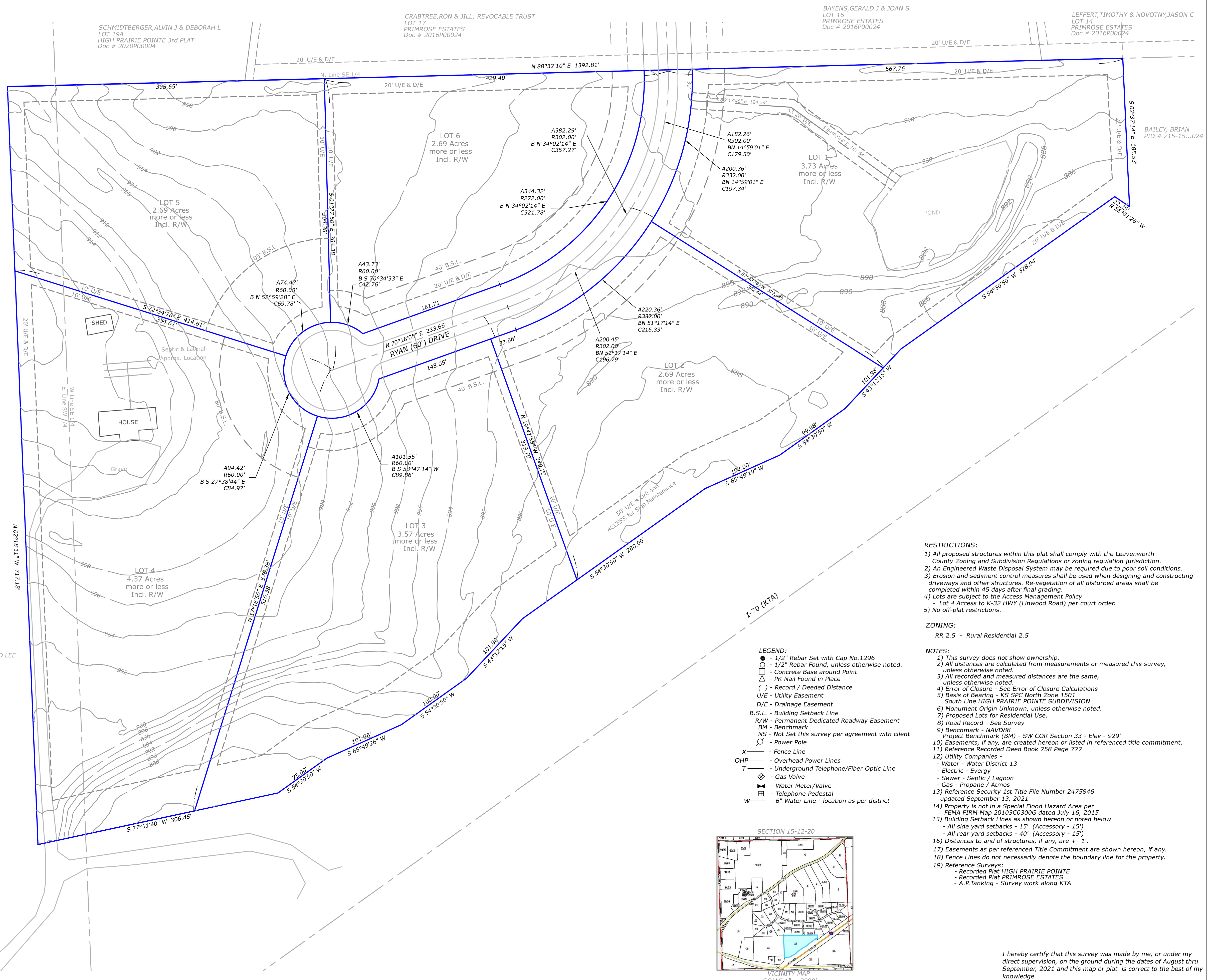
RECORD DESCRIPTION:

That part of the Southwest Quarter of the Southeast Quarter of Section 15, Township 12, Range 20, lying North of the highway and the Kansas Turnpike; and 60 feet off the East side of the Southeast Quarter of the Southwest Quarter of Section 15, Township 12, Range 20, lying North of the highway and the Kansas Turnpike, all in Leavenworth County, Kansas LESS and EXCEPT

A tract of land located in the South One-half of Section 15, Township 12 South, Range 20 East of the 6th Principal Meridian, in the Leavenworth County, Kansas more particularly described as follows: Commencing at the Southeast corner of the Southwest Quarter of said Section 15; thence on an assumed bearing of North 02° 19' 09" West on the East line of said Southwest Quarter a distance of 250.90 feet to the Existing North Right of Way line of the Kansas Turnpike Authority, and the point of beginning; thence South 54° 30' 50" West on said North Right of Way line a distance of 71.68 feet; thence North 02° 19' 09" West, parallel with and 60.00 feet West of the East line of said Southwest Quarter, a distance of 168.89 feet; thence North 77° 51' 39" East a distance of 60.89 feet to the East line of said Southwest Quarter; thence continuing, North 77° 51' 39" East a distance of 245.38 feet; thence North 54° 30' 50" East a distance of 75.00 feet; thence North 65° 49' 26" East a distance of 101.98 feet to the Existing North Right of Way line of the Kansas Turnpike Authority; thence South 54° 30' 50" West on said North Right of Way line a distance of 476.91 feet to the point of beginning, according to the General Warranty Deed, recorded October 24, 2014 as Document No. 2014R07707 LESS and EXCEPT

A tract of land located in the Southeast Quarter of Section 15, Township 12 South, Range 20 East of the 6th Principal Meridian, in the Leavenworth County, Kansas more particularly described as follows: Commencing at the Southwest corner of the Southeast Quarter of said Section 15; thence on an assumed bearing of North 88° 27' 43" East on the South line of said Southeast Quarter a distance of 956.29 feet; thence North 01° 32' 17" West a distance of 896.94 feet to the Existing North Right of Way line of the Kansas Turnpike Authority, and the point of beginning; thence North 43° 12' 15" East a distance of 101.98 feet; North 54° 30' 50" East a distance of 341.09 feet to the East line of said Southeast Quarter; thence South 02° 21' 08" East on said East line a distance of 23.88 feet to the Existing North Right of Way line of the Kansas Turnpike Authority; thence South 54° 30' 50" West on said Existing North Right of Way line a distance of 428.04 feet to the point of beginning, according to the General Warranty Deed, recorded October 24, 2014 as Document No. 2014R07706 LESS and EXCEPT

A tract of land located in the Southeast Quarter of Section 15, Township 12 South, Range 20 East of the 6th Principal Meridian, in the Leavenworth County, Kansas more particularly described as follows: Commencing at the Southwest corner of the Southeast Quarter of said Section 15; thence on an assumed bearing of North 88° 27' 43" East on the South line of said Southeast Quarter a distance of 475.16 feet; thence North 01° 32' 17" West a distance of 573.05 feet to the Existing North Right of Way line of the Kansas Turnpike Authority, and the point of beginning; thence North 43° 12' 15" East a distance of 101.98 feet; North 54° 30' 50" East a distance of 280.00 feet; thence North 55° 49' 26" East a distance of 101.98 feet to said Existing North Right of Way line; thence South 54° 30' 50" West on said Existing North Right of Way line a distance of 480.00 feet to the point of beginning, according to the General Warranty Deed, recorded October 24, 2014 as Document No. 2014R07705

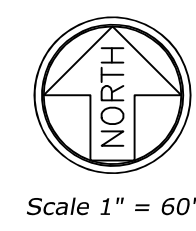
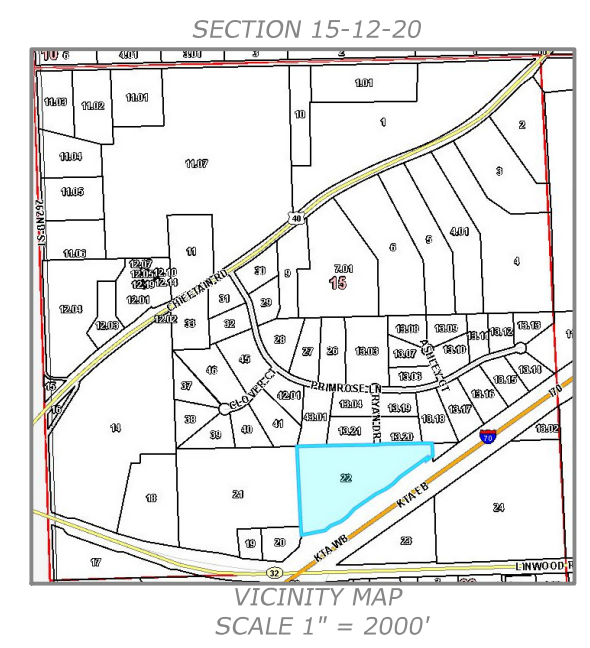


- RESTRICTIONS:**
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
 - 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
 - 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
 - 4) Lots are subject to the Access Management Policy
 - Lot 4 Access to K-32 HWY (Linwood Road) per court order.
 - 5) No off-plat restrictions.

ZONING:
RR 2.5 - Rural Residential 2.5

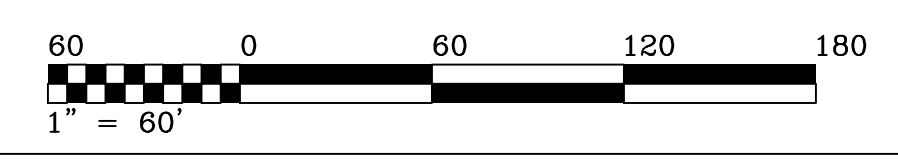
- NOTES:**
- 1) This survey does not show ownership.
 - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
 - 3) All recorded and measured distances are the same, unless otherwise noted.
 - 4) Error of Closure - See Error of Closure Calculations
 - 5) Basis of Bearing - KS SPC North Zone 1501
 - 6) Monument Origin Unknown, unless otherwise noted.
 - 7) Proposed Lots for Residential Use.
 - 8) Road Record - See Survey
 - 9) Benchmark - NAVD83
 - 10) Project Benchmark (BM) - SW COR Section 33 - Elev - 929'
 - 11) Easements, if any, are created hereon or listed in referenced title commitment.
 - 12) Reference Recorded Deed Book 738 Page 777
 - 13) Utility Companies
 - Water - Water District 13
 - Electric - Evergy
 - Sewer - Septic / Lagoon
 - Gas - Propane / Atmos
 - 14) Reference Security 1st Title File Number 2475846 updated September 13, 2021
 - 15) Property is not in a Special Flood Hazard Area per FEMA FIRN Map 2013C0300G dated July 16, 2015
 - 16) Building Setback Lines as shown hereon or noted below
 - All side yard setbacks - 15' (Accessory - 15')
 - All rear yard setbacks - 40' (Accessory - 15')
 - 17) Distances to and of structures, if any, are +- 1'.
 - 18) Easements as per referenced Title Commitment are shown hereon, if any.
 - 19) Fence Lines do not necessarily denote the boundary line for the property.
 - 20) Reference Surveys:
 - Recorded Plat HIGH PRAIRIE POINTE
 - Recorded Plat PRIMROSE ESTATES
 - A.P. Tanking - Survey work along KTA

- LEGEND:**
- - 1/2" Rebar Set with Cap No.1296
 - - 1/2" Rebar Found, unless otherwise noted.
 - - Concrete Base around Point
 - △ - PK Nail Found in Place
 - () - Record / Deeded Distance
 - U/E - Utility Easement
 - D/E - Drainage Easement
 - B.S.L. - Building Setback Line
 - R/W - Permanent Dedicated Roadway Easement
 - BM - Benchmark
 - NS - Not Set this survey per agreement with client
 - - Power Pole
 - X - Fence Line
 - OHP - Overhead Power Lines
 - T - Underground Telephone/Fiber Optic Line
 - ⊕ - Gas Valve
 - ⊕ - Water Meter/Valve
 - ⊕ - Telephone Pedestal
 - W - 6" Water Line - location as per district



Job # K-21-1498
September 16, 2021 Rev. 11/11/21

J. HERRING, Inc. (dba)
HERRING SURVEYING & COMPANY
315 North 5th Street, Leav., KS 66048
Ph. 913.651.3858 Fax 913.674.5361
Email - survey@herringinc.com



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of August thru September, 2021 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
PS # 1296

*****Consent Agenda***
Case No. DEV-21-176
Lee Chiles 3rd Plat
Preliminary Plat**

Staff Report – Planning Commission

December 8, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** PCDI
15395 Briar Road Suite A
Basehor, KS 66007

Agent: Joe Herring
Herring Surveying
315 North 5th Street
Leavenworth, KS 66048

Legal Description: Lot 1, Lee Chiles Subdivision, Phase I AND A tract of land in the West ½ of the Northeast Quarter of Section 16, Township 11, Range 22 East of the 6th P.M, in Leavenworth County, Kansas.

Parcel Size: ± 18.30 acres

Zoning/Land Use: R-1 (43), One-Family Dwelling District

Comprehensive Plan: This parcel is within the Mixed Residential land use category.

Parcel ID No.: 185-16-0-00-00-012.00 & 185-16-0-00-00-020.00

Planner: Amy Allison

REPORT:

Request

The applicant is requesting a Preliminary Plat for a 12-lot subdivision.

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 1 acre to over 140 acres in size.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C0350G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Fire District 1
Water: Suburban Water District
Electric: Evergy

Access/Streets

The property is accessed by Evans Road and 169th Street. Evans Road is a County Collector with a paved surface ± 25' wide. 169th Street is a Interior Subdivision Road with a paved surface ± 20' wide

Agency Comments

See attached comments – Email – Lauren Anderson – Public Works, November 22 & 29, 2021
See attached comments – Email – Mitch Pleak – Olsson, November 16, 2021

Findings

1. The proposed subdivision is consistent with the zoning district of R-1 (43); One-Family Dwelling District 43,560 square foot minimum size parcels and meets the lot-depth to lot-width ratio of 3.5:1 or 4:1, have the minimum frontage of 150', Minimum lot size of 43,560 square feet.
2. The property is not within a sewer district boundary or is within 660 feet of the incorporated limits of a municipality; therefore, a waiver to the requirement of allowing private septic systems is supported by staff. A private sewage disposal permit may be issued per Leavenworth County Sanitary Code requirements.

Any further subdividing of any lot within this subdivision shall require the installation of public sanitary sewer or connection to an existing public sanitary sewer.
3. At time of development, fire hydrants shall be required if necessary infrastructure is available.
4. The proposed subdivision is in accordance with the Comprehensive Plan.
5. The proposed lot line between Lots 1 and 2 bisect an existing pond. While staff is generally not supportive of property lines splitting a natural feature such as a pond, the proposed lot line is in conformance with the Subdivision Regulations.
6. The proposed block length exceeds the 1,200 feet maximum due to the existing road network of the first two phases. Staff is supportive of the block length.
7. An existing will remain on Lot 12 but the barn and silo will be demolished. (See condition 6)
8. An existing 10 ft. utility easement that crosses the proposed Lot 4 and 8 will be vacated per the plat. No utilities are located within the easement.

Subdivision Classification

This is classified as a Class "C" Subdivision. According to the Leavenworth County Zoning & Subdivision regulations, a Class "C" Subdivision is any subdivision in which all the lots lie within the Rural Growth Area of Leavenworth County.

Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision. (See condition 4)

Staff Comments

The proposed preliminary plat will be the third phase of the Lee Chiles Subdivision. The applicant proposes to plat two parcels into 12 lots. The lots will range in size from 2.69 to 1.01 acres. One parcel currently has a house, barn, silo and pond. The house will remain with Lot 12 while the barn and silo are proposed to be removed. The pond will be split by a property line. The applicant has provided preliminary drainage and road plans, both of which have been preliminarily approved.

STAFF RECOMMENDATION:

The staff recommends approval of Case No.DEV-21-176, Preliminary Plat for Lee Chiles 3rd Plat, with the following conditions:

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
3. A waiver for the use of private septic systems within this subdivision is granted with this approval.
4. At time of development, fire hydrants shall be required if necessary infrastructure is available.
5. The existing barn and silo must be removed prior to issuance of the first building permit.

6. After approval of this subdivision by the Board of County Commission, all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days unless otherwise stated.

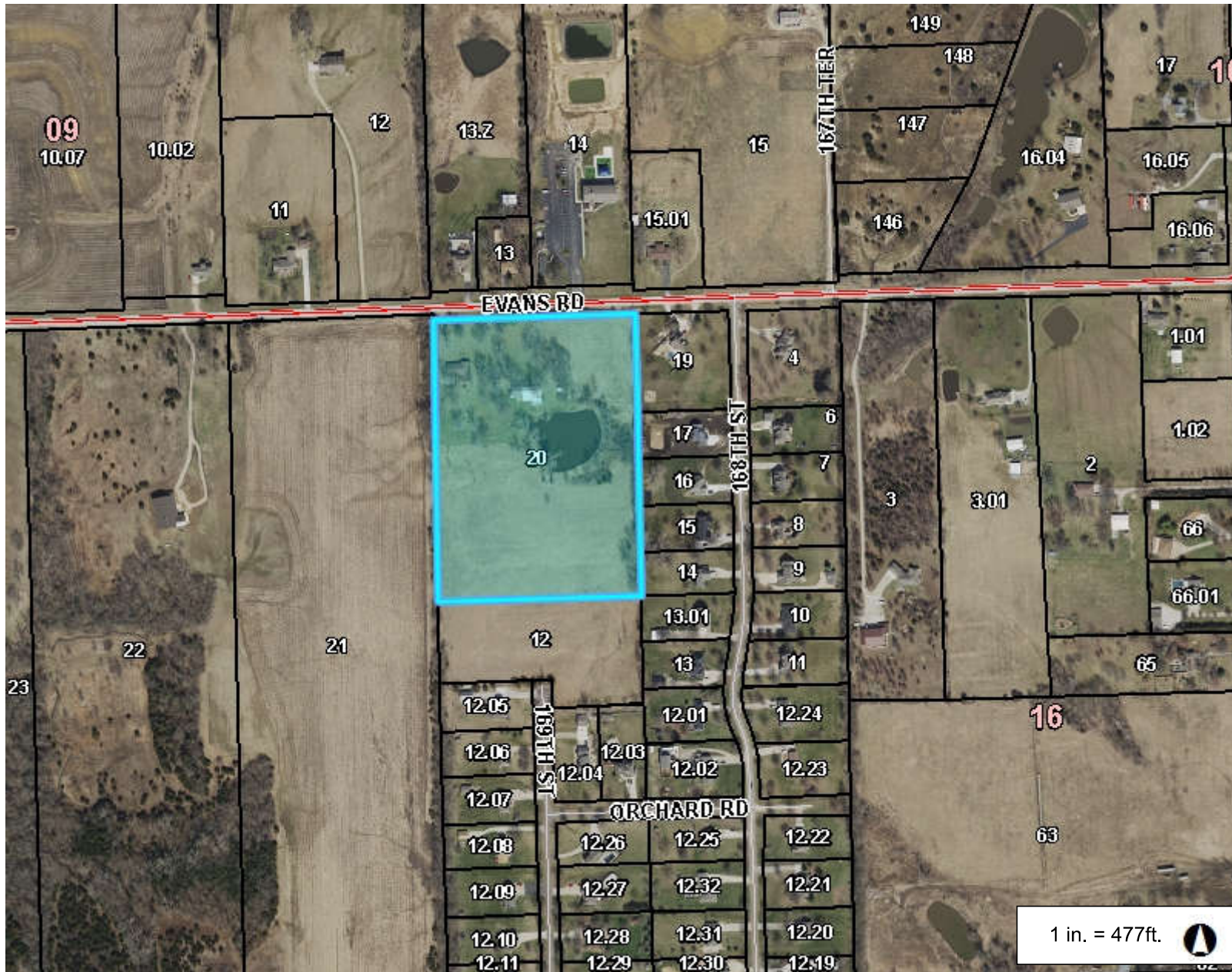
ACTION OPTIONS:

1. Recommend approval of Case No. DEV-21-176, Preliminary Plat for Lee Chiles 3rd Plat, to the Board of County Commission, with or without conditions; or
2. Recommend denial of Case No. DEV-21-176, Preliminary Plat for Lee Chiles 3rd Plat, to the Board of County Commission for the following reasons; or
3. Continue the hearing to another date, time, and place;

ATTACHMENTS:

Aerial Map
Memorandums
Preliminary Drainage Report
Preliminary Road Plans
Preliminary Plat

DEV-21-176 Lee Chiles 3rd Preliminary Plat



Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
 - <all other values>
 - 70
- Road
- Railroad
- Airstrip
- Section
- Section Boundaries
- County Boundary

1 in. = 477ft.



954.7 0 477.35 954.7 Feet



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Allison, Amy

From: Anderson, Lauren
Sent: Friday, November 19, 2021 1:50 PM
To: Allison, Amy
Cc: Gentzler, Joshua; Sloop, Stephanie; 'Mitch Pleak'
Subject: RE: DEV-21-176 Revised Plans - PP

Amy,

Engineering has no further comments on the PP for Lee Chiles.

Lauren

From: Allison, Amy
Sent: Friday, November 19, 2021 10:26 AM
To: Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Cc: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>; Sloop, Stephanie <SSloop@leavenworthcounty.gov>
Subject: DEV-21-176 Revised Plans - PP

Lauren,

Please find the November 19, 2021 revised PP plans for Lee Chiles 3rd attached. Please let me know if you have any questions.

Sincerely,
Amy Allison, AICP
Deputy Director
Planning & Zoning
Leavenworth County
913.364.5757

Allison, Amy

From: Anderson, Lauren
Sent: Monday, November 29, 2021 4:21 PM
To: 'David Lutgen'
Cc: Allison, Amy; Joe Herring; Gentzler, Joshua; Sloop, Stephanie
Subject: RE: FW: DEV-21-176 Review Comments

David,

Both the road plans and the sight distance verification look good, engineering has no additional comments.

Lauren

From: David Lutgen <dlutgen72@gmail.com>
Sent: Monday, November 22, 2021 4:54 PM
To: Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Cc: Allison, Amy <AAllison@leavenworthcounty.gov>; Joe Herring <herringsurveying@outlook.com>; Gentzler, Joshua <JGentzler@leavenworthcounty.gov>; Sloop, Stephanie <SSloop@leavenworthcounty.gov>
Subject: Re: FW: DEV-21-176 Review Comments

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

All,

Attached are the SSD verification and the updated road plans.

Thanks

David Lutgen

On Fri, Nov 19, 2021 at 10:12 AM Anderson, Lauren <LAnderson@leavenworthcounty.gov> wrote:

Yes, Amy is correct.

We've provided additional comments on the preliminary plans that are not required to be addressed immediately but will need to be addressed when you submit final plans with the final plat. That comment is just saying any comment that looks like this (orange highlight) is not an immediate concern. Only comments/markups with a yellow highlight will need to be addressed in these preliminary plans.

Orange comments are not to be taken as a full final improvement plan review and there may still be additional comments at that time. These are just an attempt to make the final plan review smoother, letting you know items we have already noticed and would expect to see updated for the approval of the final plans.

Allison, Amy

From: Mitch Pleak <mpleak@olsson.com>
Sent: Tuesday, November 16, 2021 2:33 PM
To: Allison, Amy; Gentzler, Joshua
Cc: Noll, Bill; Anderson, Lauren; 019-2831
Subject: RE: DEV-21-176 Review Comments
Attachments: Attachments.html

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Amy,
Lauren and I have reviewed the revised preliminary improvement roadway plan and drainage report. Below is a link to the comments on the preliminary improvement plan. No further comments on the drainage report.

Citrix Attachments

Expires May 15, 2022

169th Street Extension 11-14-21.pdf

2.3 MB

[Download Attachments](#)

Mitchell Pleak uses Citrix Files to share documents securely.

Thanks,

Mitch Pleak

From: Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Sent: Monday, November 15, 2021 9:12 AM
To: Mitch Pleak <mpleak@olsson.com>
Subject: FW: DEV-21-176 Review Comments

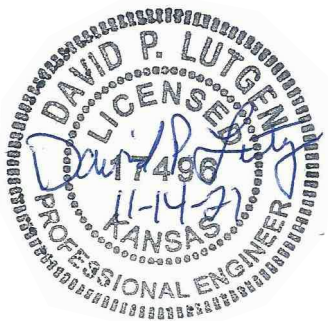
[See attached.](#)

Lauren

From: David Lutgen <dlutgen72@gmail.com>
Sent: Sunday, November 14, 2021 1:06 PM
To: Allison, Amy <AAllison@leavenworthcounty.gov>
Cc: Joe Herring <herringsurveying@outlook.com>; Gentzler, Joshua <JGentzler@leavenworthcounty.gov>; Sloop, Stephanie <ssloop@leavenworthcounty.gov>; Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Subject: Re: DEV-21-176 Review Comments

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Lee Chiles 3rd Plat
Leavenworth County Kansas
Drainage Report
October 21, 2021
November 8, 2021



Parcel Information - The 16.75-acre (+/-) parcel is located on the south side of Evans Road west of 168th Street in Leavenworth County KS. The property is zoned R-1(43).

Existing Conditions – There is a home, an outbuilding, a silo, and a small pond located on the parcel. Approximately two acres around the house is maintained as a lawn while the remainder of the parcel is used as a pasture. The site contains one drainage area as shown on exhibit #1. The existing pond will remain.

A c value was calculated for the drainage area as shown in the table below. The c value is based on the soil type, slopes, and existing land use, see Exhibits #3, #4, and #5.

Existing	c value	Acres in each Drainage Area			
		DA #1			
Pasture	0.36	14.47			
Gravel Drive	0.60	0.07			
Impervious	0.90	0.21			
Grass	0.20	2.00			
Composite c		0.35			

$$\text{composite c} = \frac{(\text{Pasture Acres} * 0.36 + \text{Gravel Acres} * 0.60 + \text{Impervious Acres} * 0.90 + \text{Grass Acres} * 0.20)}{\text{Total Acres}}$$

Developed Conditions – The proposed development will create twelve residential building lot. Lot #12 has an existing house. The development includes the construction of a new road. The road will connect to 169th Street and extend north to Evans Road. The existing outbuilding and silo will be removed. A composite c value was calculated for the drainage area as shown in the table below. The composite c value is based on the soil type, slopes, and land use, see Exhibits #3, #4, and #5. The developed storm water runoff calculations include 2,500 sq ft of impervious area for the house footprint and 1,500 sq ft of impervious area for the driveway and sidewalk. Leavenworth County has a regulation that limits the size of accessory structures on lots less than 2.51 acres in size to 2.5% of the lot square footage. The following table shows the maximum allowed area for accessory structures on each lot. Lot #1 is not subject to this regulation so the standard 10,000 sq ft of impervious area was used for this lot.

Lot	Lot Acres	House Acres	Concrete Acres	Accessory Building 2.5% Max Acres	Comment
1	2.69	0.23	Included in House Acres		Not subject to 2.5% regulation
2	2.49	0.06	0.03	0.06	
3	1.07	0.06	0.03	0.03	
4	1.07	0.06	0.03	0.03	
5	1.07	0.06	0.03	0.03	
6	1.07	0.06	0.03	0.03	
7	1.05	0.06	0.03	0.03	
8	1.06	0.06	0.03	0.03	
9	1.06	0.06	0.03	0.03	
10	1.01	0.06	0.03	0.03	
11	1.18	0.06	0.03	0.03	
12	1.92	0.10	0	0.05	Existing house on Lot
Totals (acres)		0.93	0.3	0.38	
Total Impervious Acres				1.61	

Developed	c value	Acres in each Drainage Area			
		DA #1			
Gravel Drive	0.60	0.07			
Impervious	0.90	2.29			
Grass	0.20	14.42			
Composite c		0.30			

composite c =
$$\frac{(\text{Gravel Acres} * 0.60 + \text{Impervious Acres} * 0.90 + \text{Grass Acres} * 0.20)}{\text{Total Acres}}$$

The storm water runoff for existing and developed conditions is summarized in the following table. Calculations for the storm water runoff are included with the report.

	Q10 cfs	Q100 cfs
Existing	30.4	54.0
Developed	25.2	44.8
Change	-17.0%	-16.9%

Conclusion – The change in land use for this parcel of ground results in a 17% decrease in storm water runoff from the site.

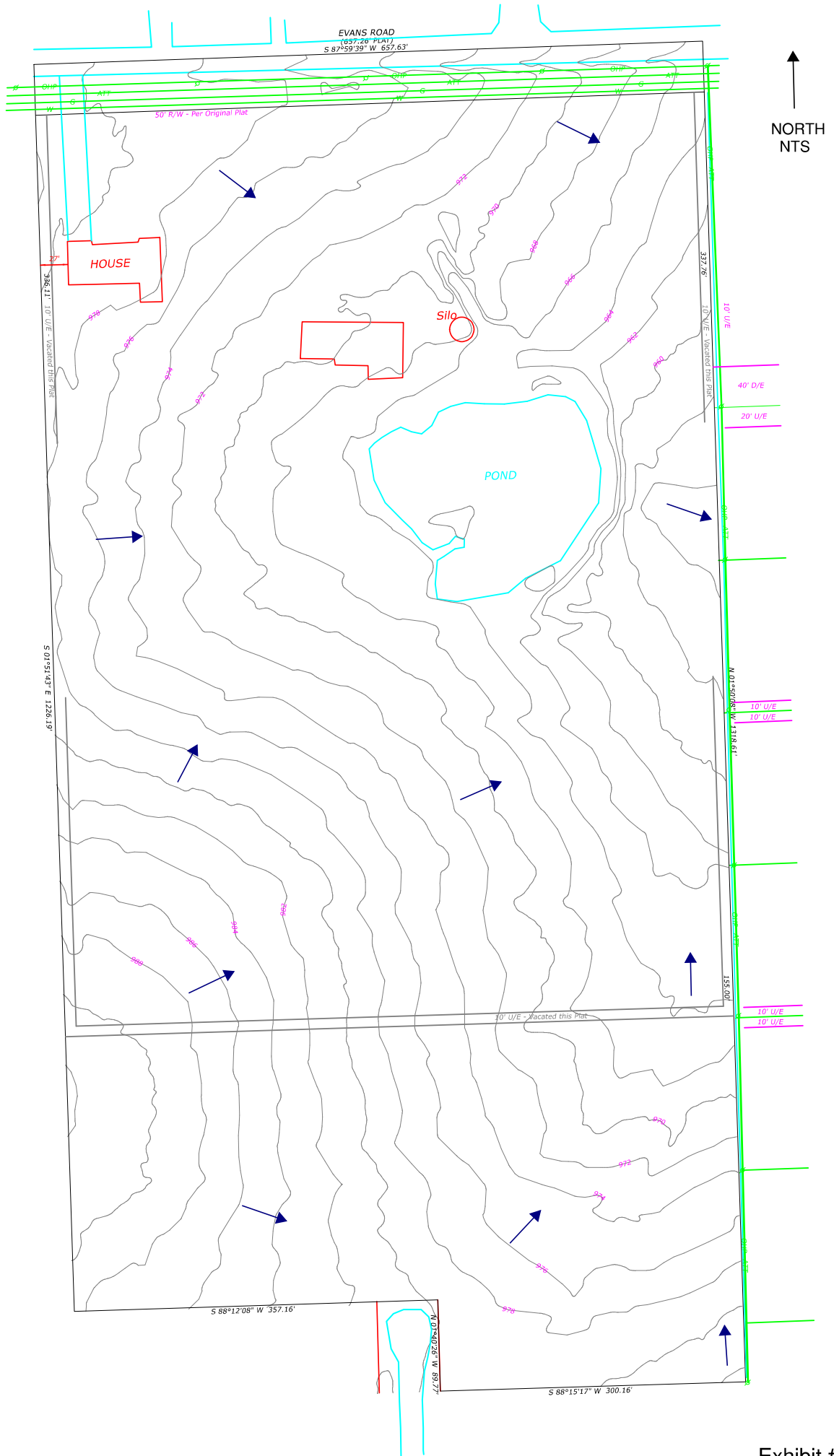


Exhibit #1

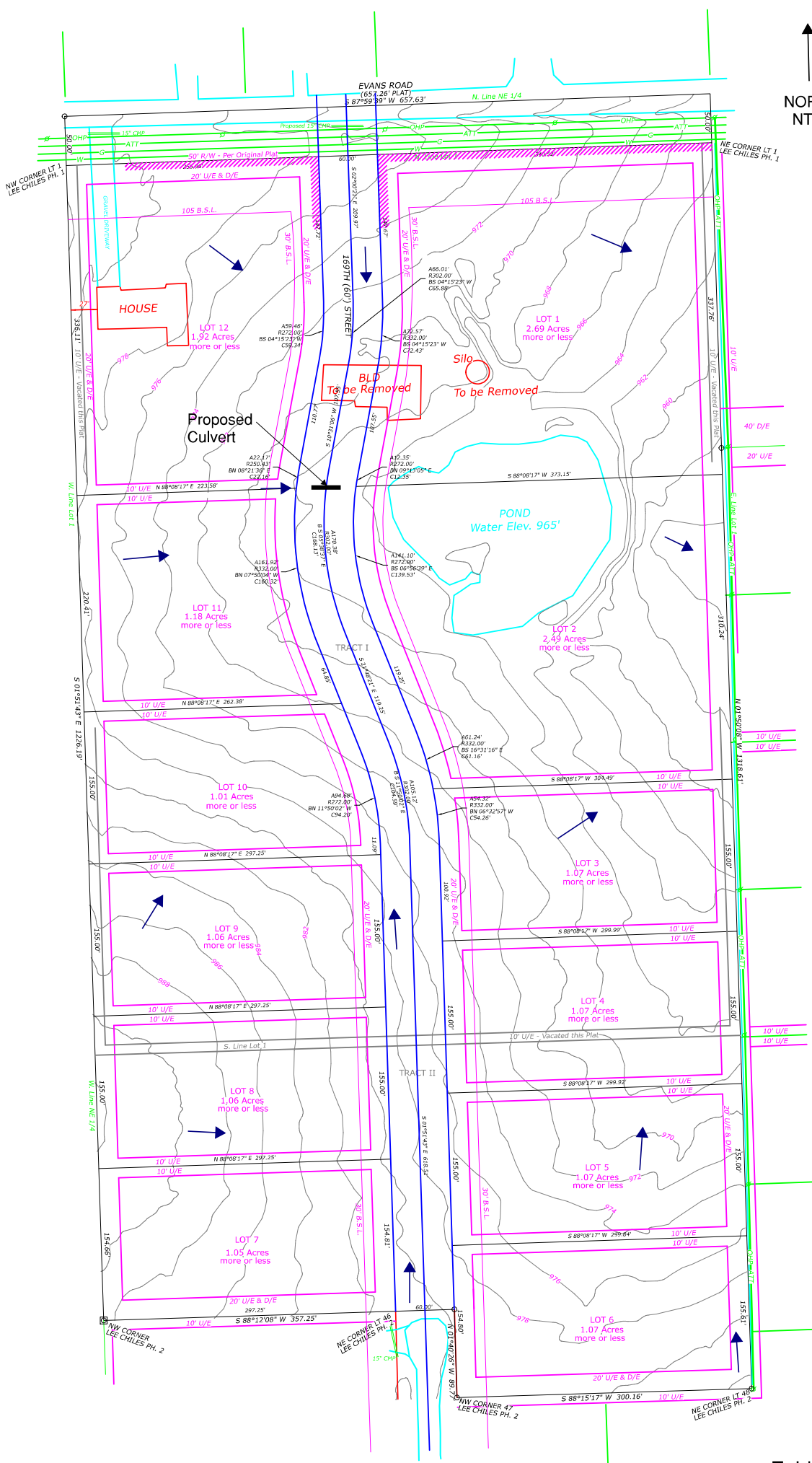
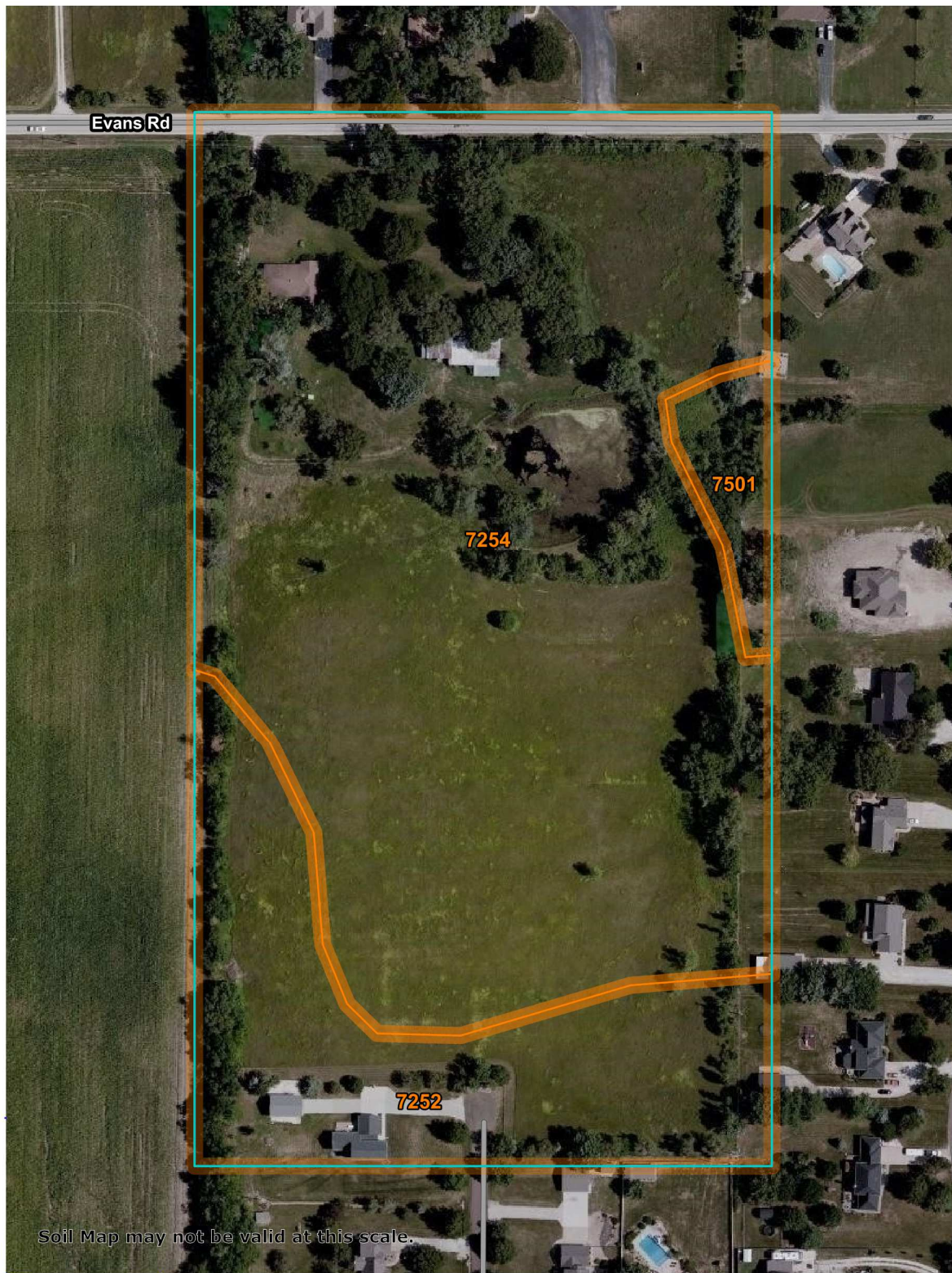


Exhibit #2



Map Unit Symbol	Map Unit Name
7252	Grundy silty clay loam, 1 to 3 percent slopes
7254	Grundy silty clay loam, 3 to 7 percent slopes, eroded
7501	Pawnee clay loam, 4 to 8 percent slopes, eroded

Map Scale: 1:2,410 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84

TABLE 1 Values of Runoff Coefficient C

URBAN AREAS:	
Type of drainage area	Runoff coefficient C
Lawns:	0.05 - 0.10
Sandy soil, flat 2%	0.10 - 0.15
Sandy soil, average, 2 - 7%	0.15 - 0.20
Sandy soil, steep, 7%	0.13-0.17
Heavy soil, flat, 2%	0.18 - 0.22
Heavy soil, average, 2 - 7%	0.25 - 0.35
Heavy soil, steep, 7%	
Business:	0.70 - 0.95
Downtown areas Neighborhood areas	0.50.0.70
Residential:	0.30 - 0.50
Single-family areas	0.40 - 0.60
Multi units, detached Multi units,	0.60 - 0.75
attached Suburban	0.25 - 0.40
Apartment dwelling areas	0.50 - 0.70
Industrial:	
Light areas	0.50 - 0.80
Heavy areas	0.60 - 0.90
Parks, cemeteries	0.10 - 0.25
Playgrounds	0.20 - 0.35
Railroad yard areas	0.20 - 0.40
Unimproved areas	0.10 - 0.30
Streets:	0.70 - 0.95
Asphaltic	0.80 - 0.95
Concrete	0.70 - 0.85
Brick	
Drives and walks	0.75 - 0.85
Roofs	0.75 - 0.95

AGRICULTURAL AREAS:

Topography and Vegetation	Runoff Coefficient C Soil Texture		
	Soil Texture		
	Open Sandy Loam	Clay and Silt Loam	Tight Clay
Woodland			
Flat 0 - 5% Slope	0.10	0.30	0.40
Rolling 5 - 10% Slope	0.25	0.35	0.50
Hilly 10 - 30% Slope	0.30	0.50	0.60
Pasture			
Flat	0.10	0.30	0.40
Rolling	0.16	0.36	0.55
Hilly	0.22	0.42	0.60
Cultivated			
Flat	0.30	0.50	0.60
Rolling	0.40	0.60	0.70
Hilly	0.52	0.72	0.82

Source - Natural Resources Conservation Service (NRCS) US Department of Agriculture (USDA) Peak Discharge Course
https://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/stelprdb1083019.pdf

EXHIBIT #4

Table 3-1 Runoff Coefficients for Rational Formula

Type of Drainage Area	Runoff Coefficient, C*
Concrete or Asphalt Pavement	0.8 – 0.9
Commercial and Industrial	0.7 – 0.9
Gravel Roadways and Shoulders	0.5 – 0.7
Residential – Urban	0.5 – 0.7
Residential – Suburban	0.3 – 0.5
Undeveloped	0.1 – 0.3
Berms	0.1 – 0.3
Agricultural – Cultivated Fields	0.15 – 0.4
Agricultural – Pastures	0.1 – 0.4
Agricultural – Forested Areas	0.1 – 0.4

For flat slopes or permeable soil, lower values shall be used. For steep slopes or impermeable soil, higher values shall be used. Steep slopes are 2:1 or steeper.

From Michigan State Administrative Rules R 280.9.

Referenced from MDOT Drainage Manual, www.michigan.gov

Drainage Area #1- 10 year

Existing Conditions

Area = 16.75 acres

C= 0.35

L= 930

S= 5.5

K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$$

$$L_{max} = 300$$

$$i_{10} = 175/(T_c + 18.8)$$

$$5 < T_c < 15$$

$$T_i = 13.3$$

$$i_{10} = 214/(T_c + 26.7)$$

$$15 < T_c < 60$$

$$T_t = 1.55$$

$$T_c = 14.8$$

$$i_{10} = 5.21$$

Q=KCIA

$$Q = 30.4 \text{ cfs}$$

Developed Conditions

Area = 16.75 acres

C= 0.30

L= 930

S= 5.5

K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$$

$$L_{max} = 300$$

$$i_{10} = 175/(T_c + 18.8)$$

$$5 < T_c < 15$$

$$T_i = 14.2$$

$$i_{10} = 214/(T_c + 26.7)$$

$$15 < T_c < 60$$

$$T_t = 1.55$$

$$T_c = 15.7$$

$$i_{10} = 5.07$$

Q=KCIA

$$Q = 25.2 \text{ cfs}$$

Drainage Area #1 - 100 year

Existing Conditions

Area = 16.75 acres
 C= 0.35
 L= 930
 S= 5.5
 K= 1.25

$$T_i = 1.8(1.1-C)L^{0.5}/S^{1/3}$$

$$L_{max} = 300$$

$$i_{100} = 256/(T_c + 19.8)$$

$$5 < T_c < 15$$

$$T_i = 13.3$$

$$i_{100} = 331/(T_c + 30)$$

$$15 < T_c < 60$$

$$T_t = 1.55$$

$$T_c = 14.8$$

$$i_{100} = 7.39$$

$$Q = KCiA$$

$$Q = 54.0 \text{ cfs}$$

Developed Conditions

Area = 16.75 acres
 C= 0.30
 L= 930
 S= 5.5
 K= 1.25

$$T_i = 1.8(1.1-C)L^{0.5}/S^{1/3}$$

$$L_{max} = 300$$

$$i_{100} = 256/(T_c + 19.8)$$

$$5 < T_c < 15$$

$$T_i = 14.2$$

$$i_{100} = 331/(T_c + 30)$$

$$15 < T_c < 60$$

$$T_t = 1.55$$

$$T_c = 15.7$$

$$i_{100} = 7.21$$

$$Q = KCiA$$

$$Q = 44.8 \text{ cfs}$$

STATE OF KANSAS LEAVENWORTH COUNTY 169th STREET EXTENSION PUBLIC ROAD PLANS

Sheet Index

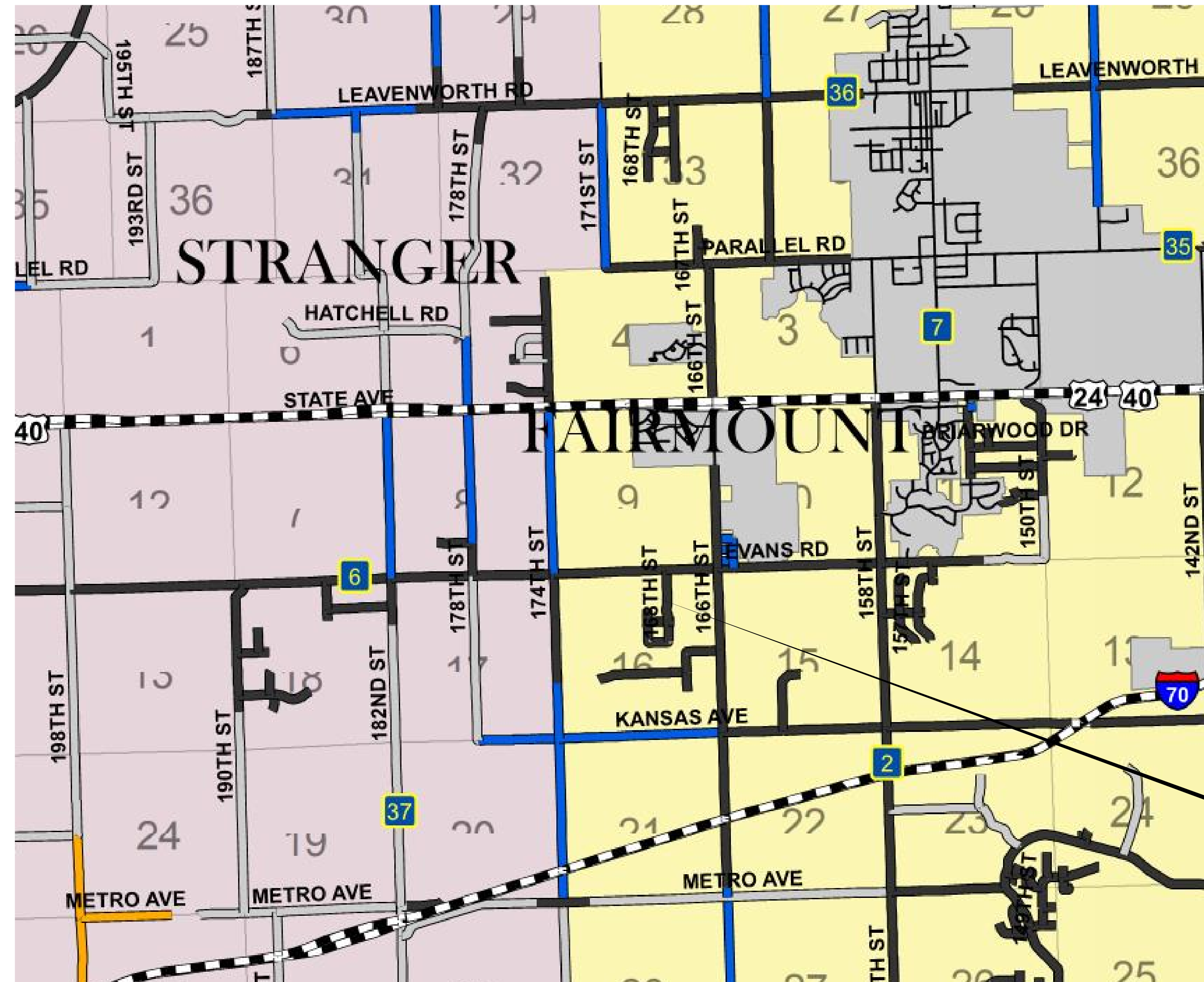
1. Title Sheet
2. Typical Section and General Notes
- 3-5 Plan & Profile Sheets
6. Drainage and Grading Plan
7. Details
- 8-11 Cross Sections

UTILITY COMPANIES

Evergy
AT&T
Suburban Water
Kansas Dig Safe 1-800-344-7233

Design Speed 30 MPH
Posted Speed 30 MPH

Benchmark -



Project Location

Owner: PCDI Homes
15395 Briar Road Suite A
Basehor, KS 66007
Surveyor: Herring Surveying
315 N. 5th Street
Leavenworth, KS 66048
Engineer: David Lutgen
15554 Elm Street
Basehor, KS 66007

These plans have been prepared in accordance with Leavenworth County's Road and Storm Water Drainage Standards, 2003 Edition. I hereby hold harmless Leavenworth County for errors or omissions in these plans.

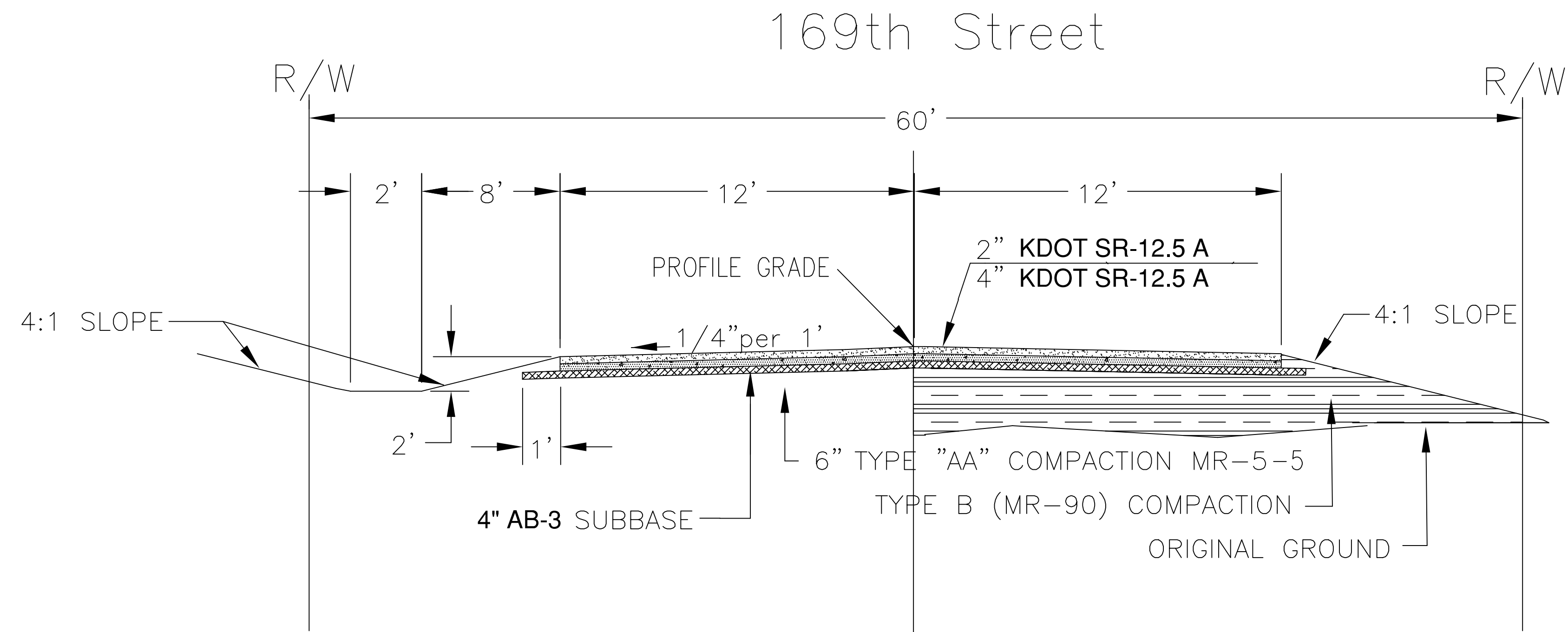
PRELIMINARY NOT FOR CONSTRUCTION

David P. Lutgen, P.E. _____ Date

These plans are approved for one year, after which they automatically become void. The County Engineer's review is only for general conformance with road and storm water drainage standards adopted by Leavenworth County. The County did not check, and is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer _____ Date

169th STREET EXTENSION LEAVENWORTH COUNTY KS TITLE SHEET	SHEET NO. 1 OF 11
Designed By: _____ Drawn By: _____ Checked By: _____ Issue Date: _____ Job No.: _____	NO. DATE REVISIONS BY APP'D 5 _____ 4 _____ 3 _____ 2 _____ 1 _____



General Notes:

1. Utilities shown are based upon information available to the Engineer. Contractor shall verify all utility locations before digging.
2. Contractor will post a one year maintenance bond with Leavenworth County upon acceptance of new road.
3. All trees, shrubs, and/or bushes shall be removed including root structure per the intent of the improvements unless noted.
4. Contractor shall provide adequate traffic control signing as outlined in the latest edition of the MUTCD.
5. Prior to placing subbase contractor shall proof roll subgrade and obtain approval of County Engineer to proceed.
6. Contractor to obtain all necessary permits prior to construction.
7. All excavation is unclassified.
8. Contractor responsible for compliance with NPDES regulations.
9. Traffic control shall be in conformance with the latest edition of the MUTCD.
10. Contractor shall obtain all necessary permits from all agencies with jurisdiction over the project.
11. All workmanship and materials shall be subject to inspection and approval by the County.
12. Contractor to coordinate all necessary relocations for ditch reshaping per plan along Evans Rd. Overhead utilities within above 169th Street right-of-way to be adjusted for adequate height to accommodate vehicles including emergency vehicles.
13. All pavement sawcuts shall be full depth. Sawcuts shall be inspected by the County prior to AB-3 subbase improvements. Contractor shall coordinate an inspection with the County.
14. Contractor shall not change or deviate from the plans without first obtaining written approval from the County and Engineer.
15. Owner/Developer/contractor shall provide the County with a Stormwater Pollution Prevention Plan (SWPPP) and NOI before construction. The site shall comply with all requirements of the NPDES general permit.
16. Construction record drawings shall be submitted to the County Engineer upon completion of the project and prior to the final acceptance of the project by the County Engineer. The engineer shall provide the County one complete set of prints showing the project as-builts
17. All areas disturbed by the construction of said improvements shall be fertilized, seeded, and mulched in accordance with Leavenworth County Requirements. If seeding doesn't take, Contractor/Developer is responsible for reseeding until there is a mowable good stand of grass. Vegetation acceptance shall meet the minimum NOI requirements and approval from the County Public Works Department. Vegetation requires a uniform perennial vegetative cover with a density of 70% over 100% of all disturbed areas.
18. All swales shall be staked prior to Construction.
19. Contractor is responsible for obtaining a qualified independent testing agency to provide all necessary testing per KDOT specifications and testing frequencies. Prior to construction, the contractor shall furnish an inspection schedule with descriptions and frequencies to the County Engineer for review and approval. Such testing agency shall provided a sealed report with all testing documentation certifying the project was constructed to County and KDOT specifications. Such report shall be accepted by the County Engineer prior to project acceptance.
20. Access to existing homes and property shall be maintained at all times.
21. All construction and materials shall conform to the Leavenworth County Department of Public Works Road Construction and Storm Water Drainage Standards 2003 Edition. References made to KDOT standards and specifications shall be current edition.

Structure Removal Note. Structure, footing, utilities to the structure and any other unknown/unsuitable materials shall be removed within the right-of-way. Engineer of record or inspector shall provide complete photo documentation of structure removal. Photos shall taken before demolition and during the complete removal of structure, footings, and other associated items. Document the complete excavation and backfill with photos and measurements including depths. Backfill and removal shall be per KDOT standards and specifications. The minimum compaction shall be Type AA MR-5-5 with a field density test (95% Field Density) for every lift until backfill elevation is the same as surrounding grade or finish grade or to bottom of AB-3 in in the road bed.

Structure demolition shall be accordance to County regulations.

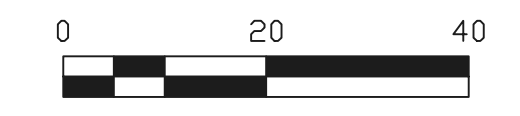
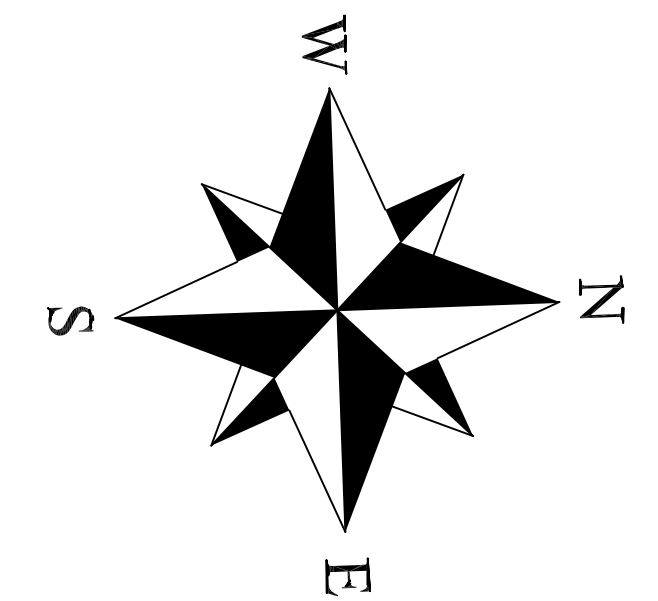
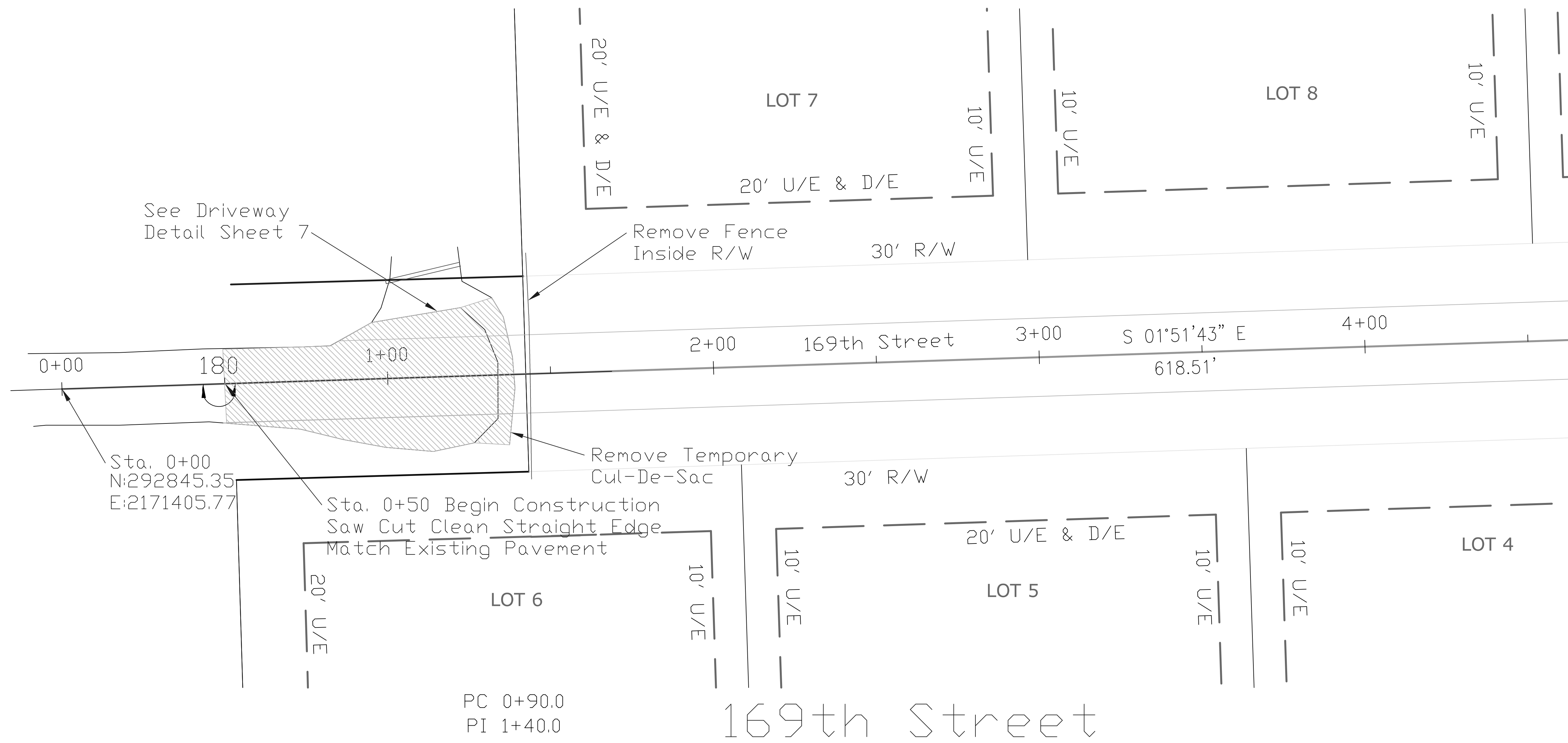
All building materials shall be completely removed from the project site.

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 Checked By: _____
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 Job No. _____

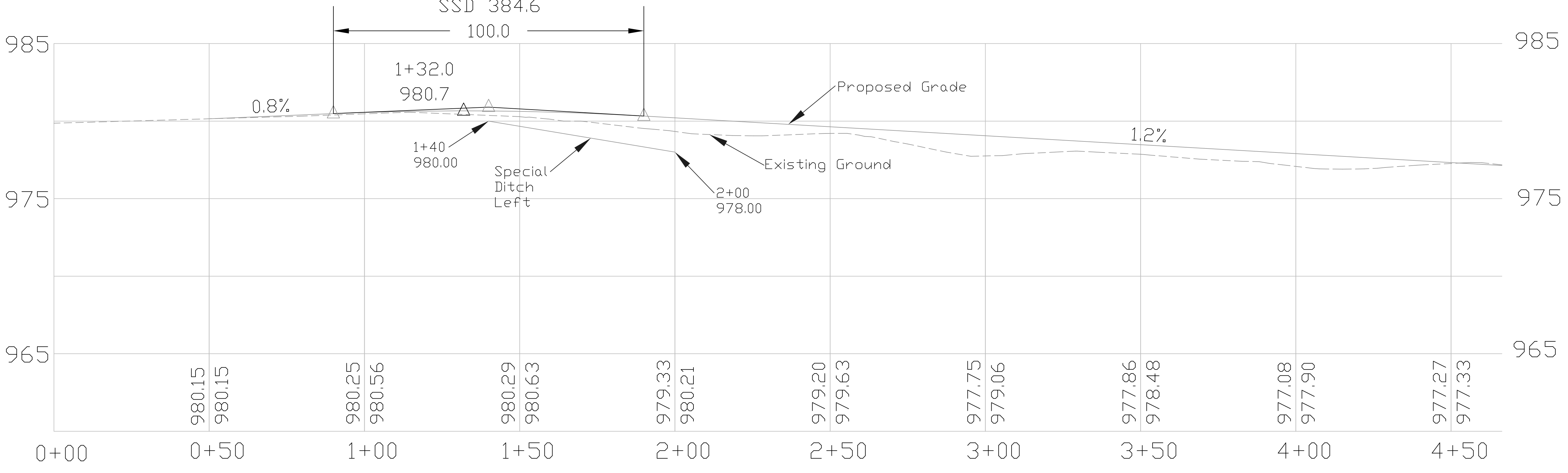
169th STREET EXTENSION
 LEAVENWORTH COUNTY KS

TYPICAL SECTION AND QUANTITIES



Vert. - 1" = 4'

PC 0+90.0
 PI 1+40.0
 PT 1+90.0
 K 50.3
 SSD 384.6

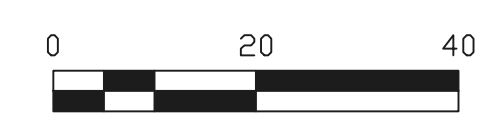
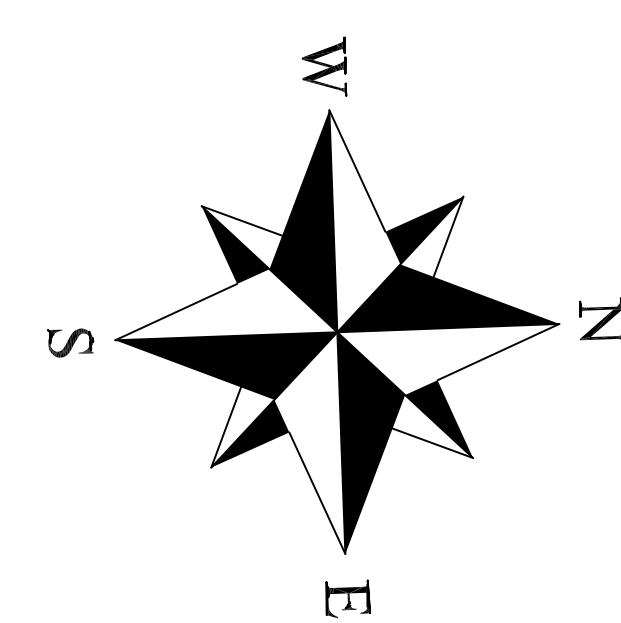
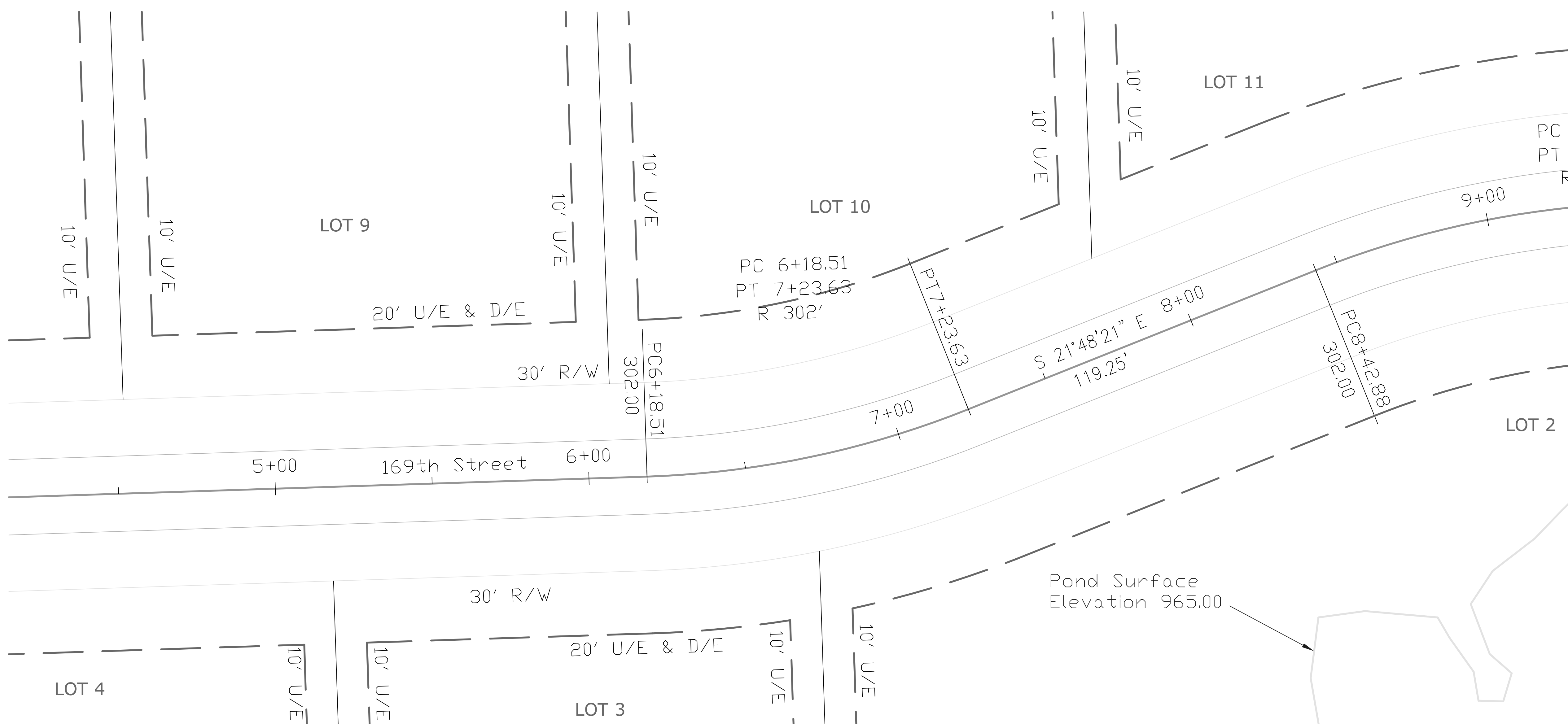


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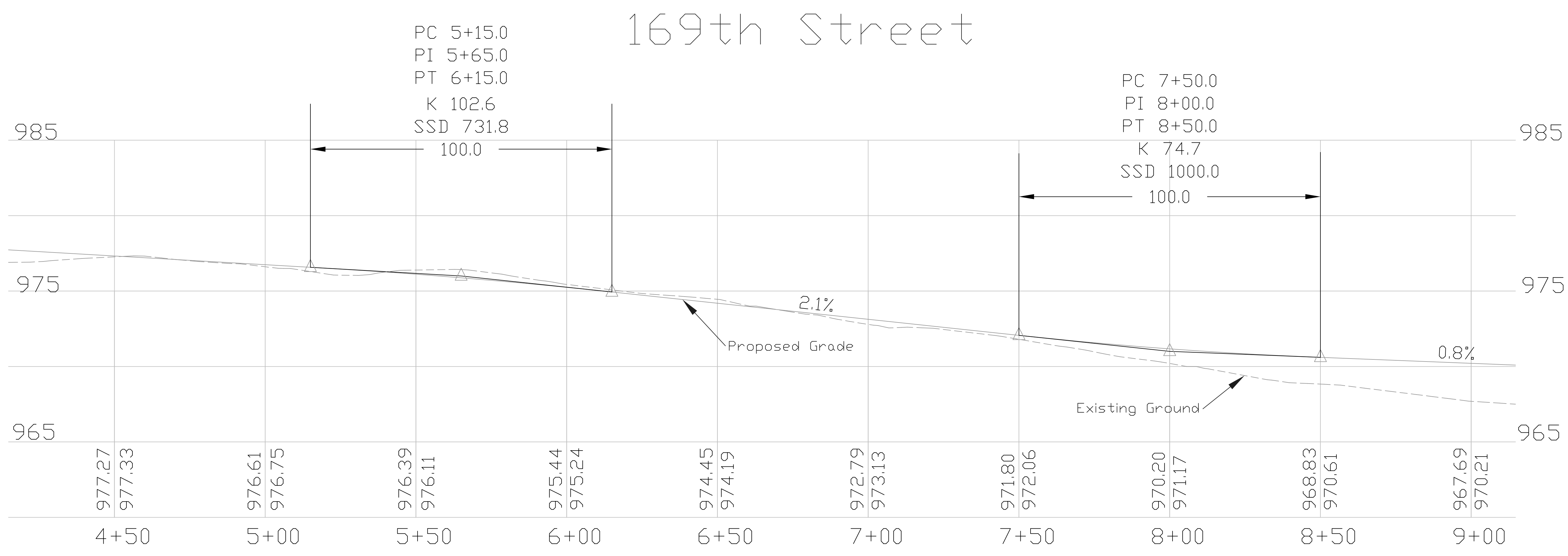
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 Job No.: _____

169th STREET EXTENSION
 LEAVENWORTH COUNTY KS

PLAN & PROFILE



Vert. - 1" = 4'

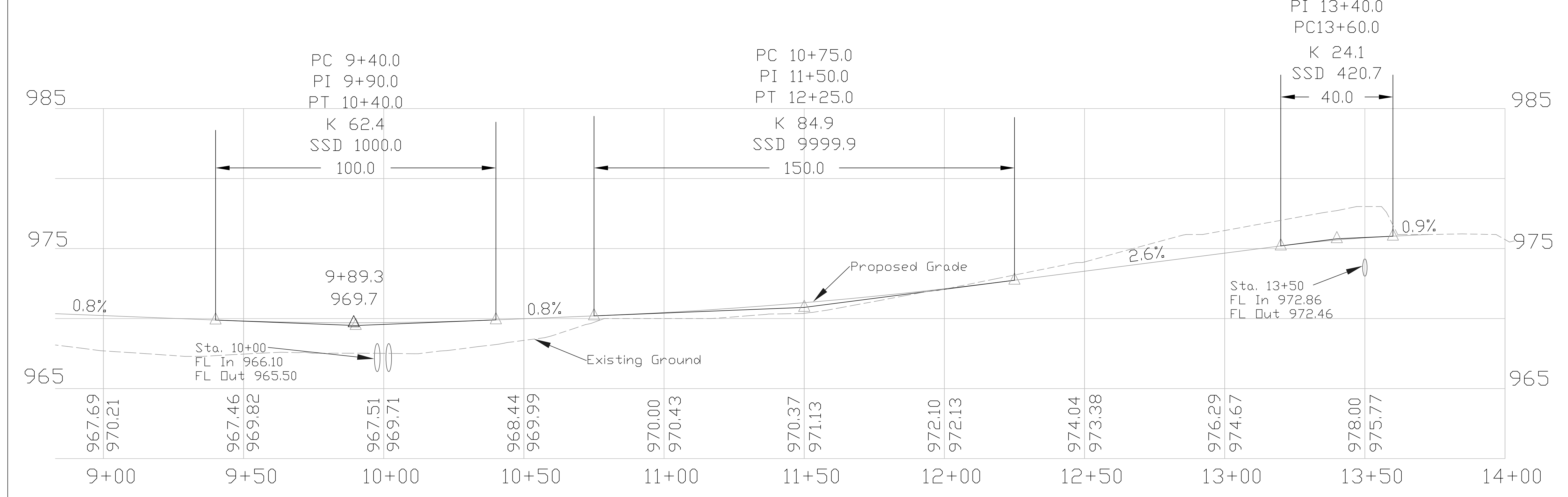
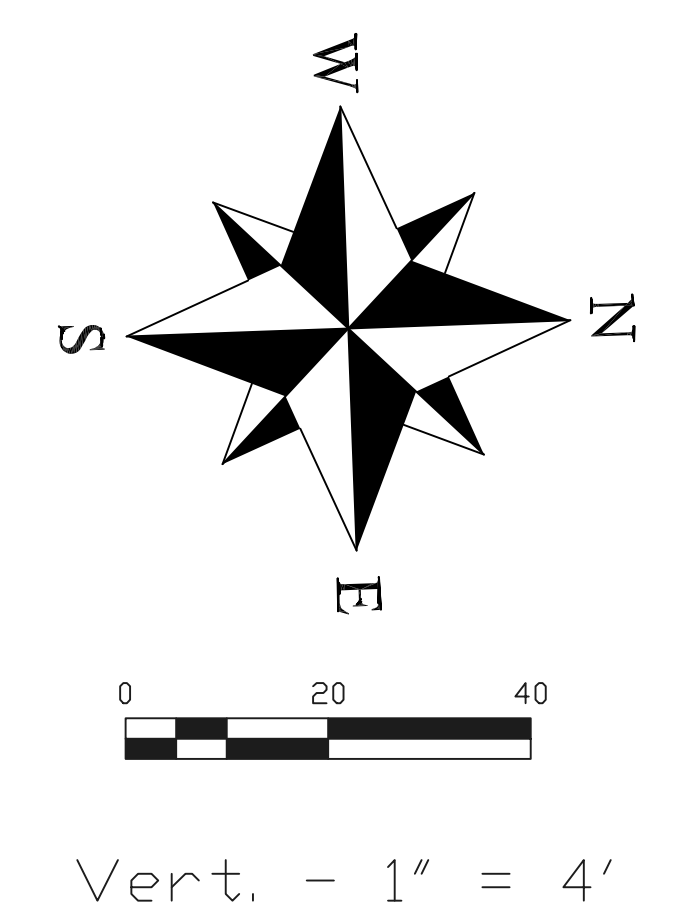
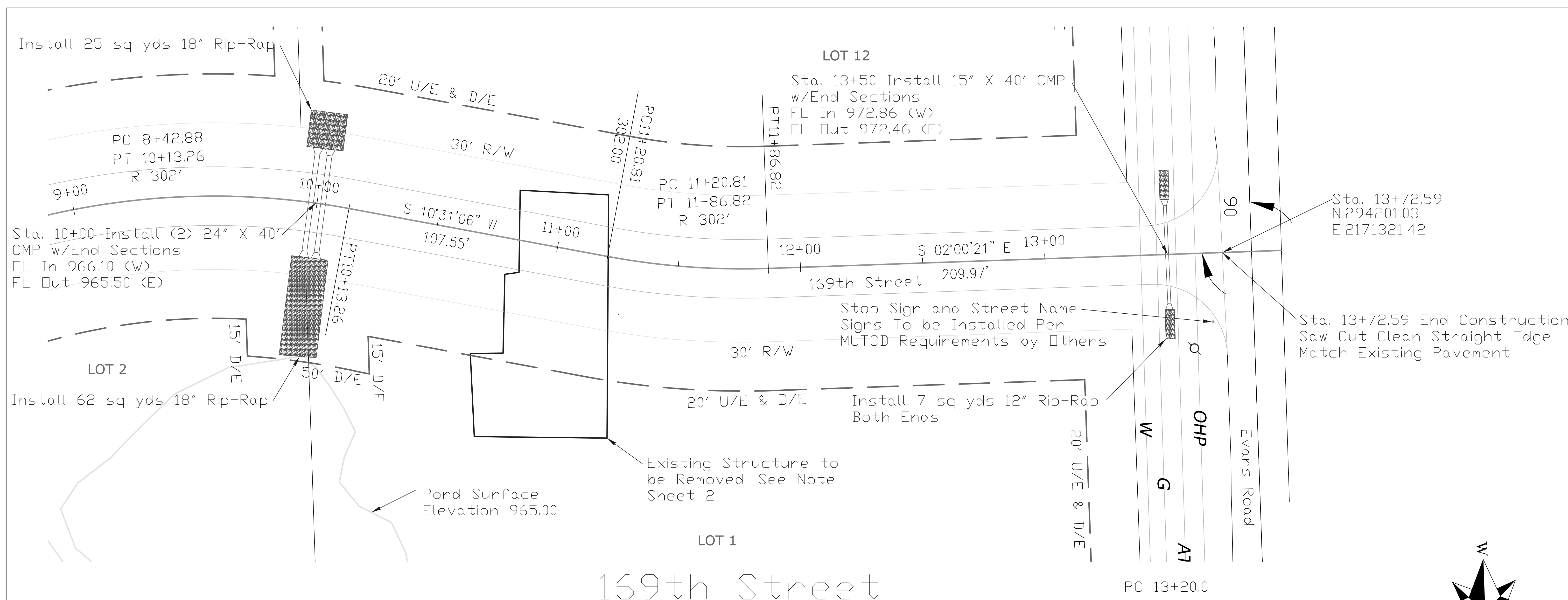


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169th STREET EXTENSION
LEAVENWORTH COUNTY KS

PLAN & PROFILE

SHEET NO.
4 OF 11



DESIGNED BY	DATE	REVISIONS	BY	APP'D
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169th STREET EXTENSION LEAVENWORTH COUNTY KS PLAN & PROFILE				
SHEET NO. 5 OF 11				

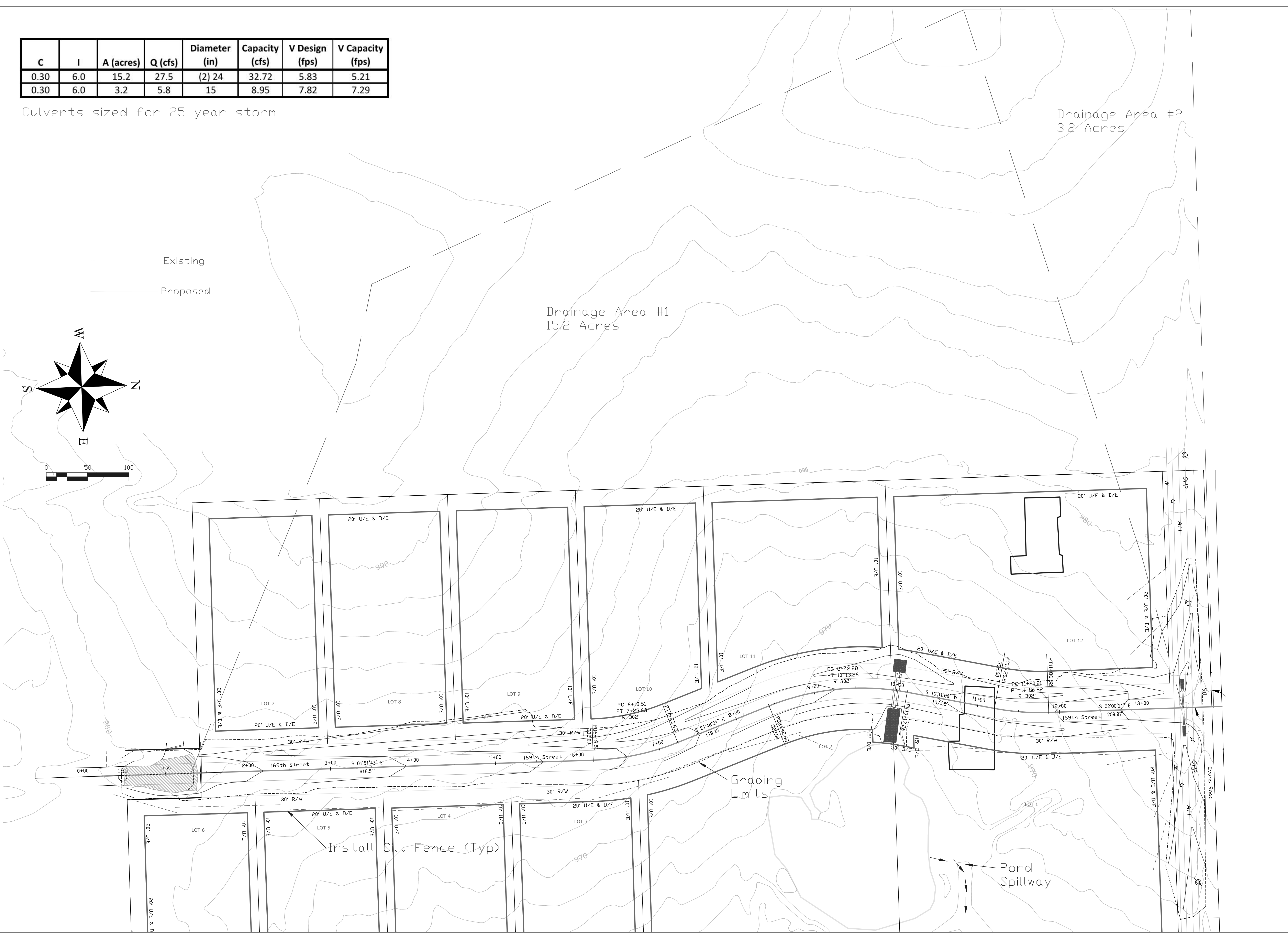
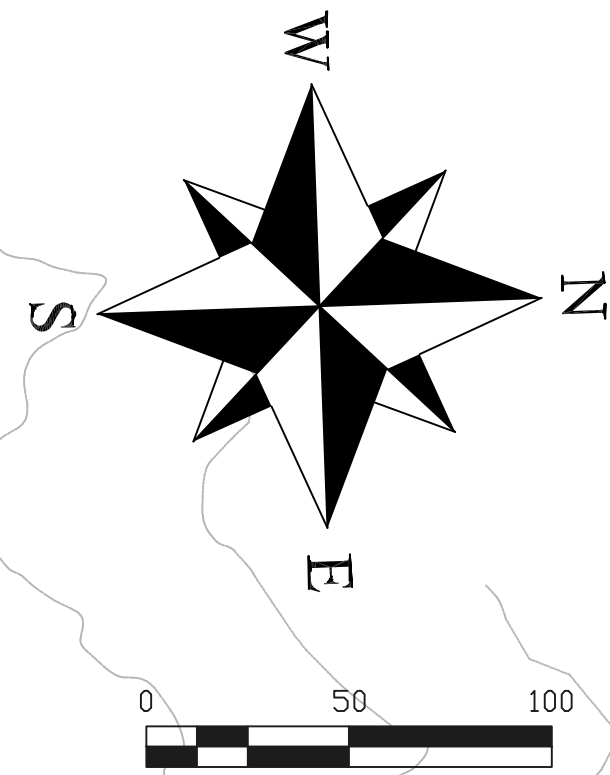
C	I	A (acres)	Q (cfs)	Diameter (in)	Capacity (cfs)	V Design (fps)	V Capacity (fps)
0.30	6.0	15.2	27.5	(2) 24	32.72	5.83	5.21
0.30	6.0	3.2	5.8	15	8.95	7.82	7.29

Culverts sized for 25 year storm

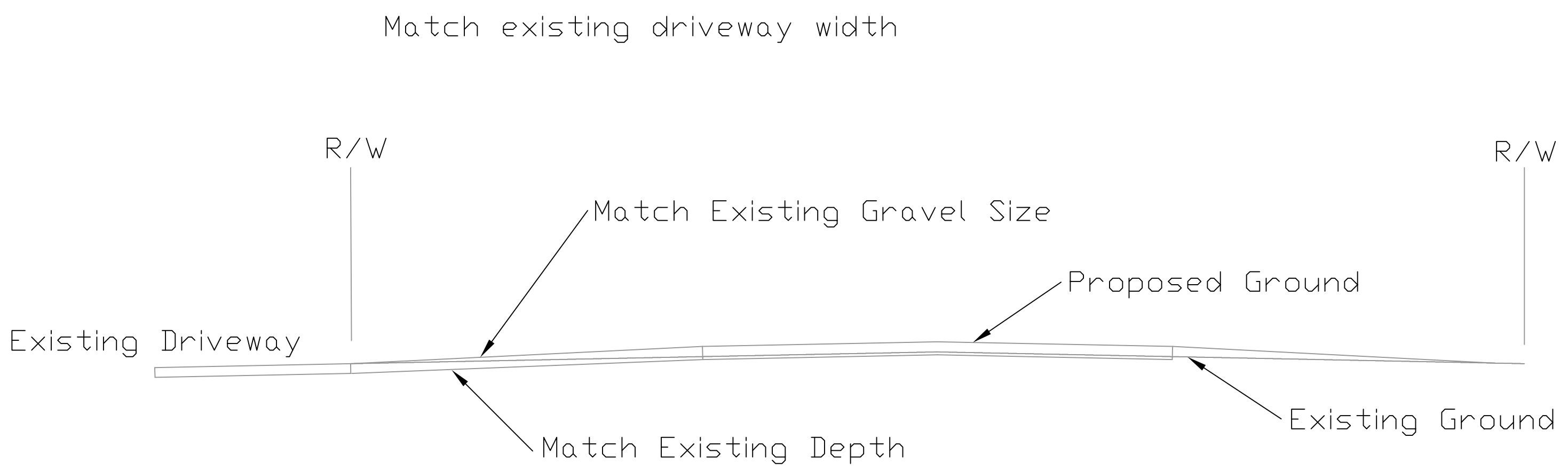
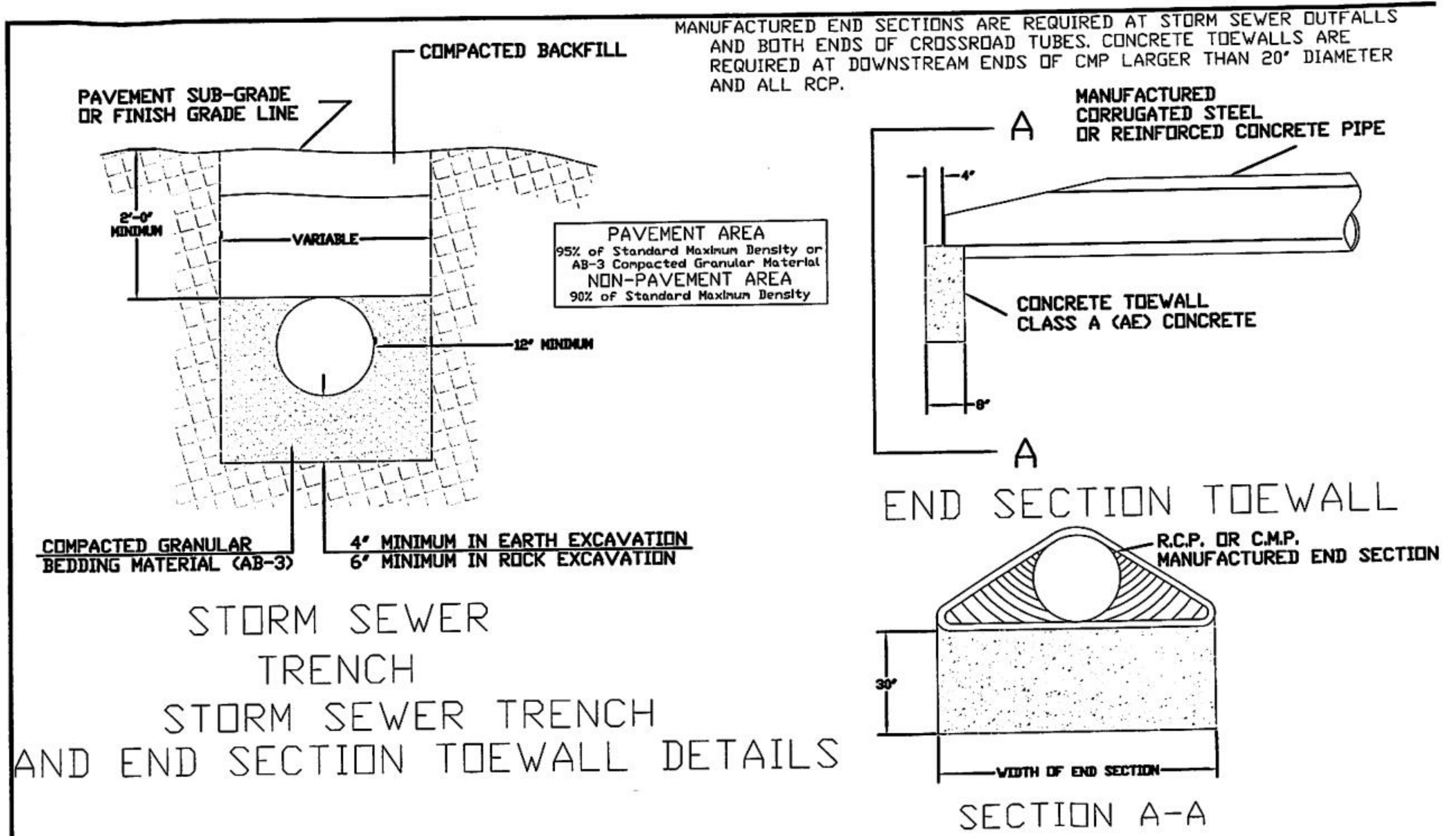
Drainage Area #2
3.2 Acres

Drainage Area #1
15.2 Acres

Existing
Proposed



169th STREET EXTENSION LEAVENWORTH COUNTY KS	GRADING & DRAINAGE PLAN
SHEET NO. 6 OF 11	APP'D BY: _____ REVISIONS: _____ NO. DATE BY APP'D



Existing Driveway Detail

GENERAL: THE ENTIRE DISTURBED AREA, EXCEPTING THE PAVED OR SURFACED AREAS, STEEP ROCKY SLOPES AND AREAS OF UNDISTURBED NATIVE SOD OR OTHER DESIRABLE VEGETATION SHALL BE FERTILIZED (LIMED WHEN REQUIRED), SEEDED, AND MULCHED. SOIL PREPARATION SHALL CONFORM TO THE STANDARD SPECIFICATIONS.

THE CONTRACTOR WILL BE REQUIRED TO FINISH AREAS OF EXCAVATION, BORROW AND EMBANKMENT IN ACCORDANCE WITH THE SPECIFICATIONS. AREAS THAT REQUIRE INSTALLATION OR CONSTRUCTION OF TEMPORARY WATER POLLUTION CONTROL ITEMS WILL BE FINISHED IN REASONABLE CLOSE CONFORMITY TO THE ALIGNMENT, GRADE AND CROSS SECTION SHOWN ON PLANS OR AS ESTABLISHED BY THE ENGINEER.

FERTILIZER: A RATIO AND APPLICATION RATE THAT EQUALS OR EXCEEDS THE REQUIRED MINIMUM RATE PER ACRE OF N, P₂O₅, K₂O LISTED IN SUMMARY OF QUANTITIES WILL BE ACCEPTABLE.

MULCHING: MULCH SHALL BE SPREAD UNIFORMLY OVER ALL DISTURBED AREAS AND PUNCHED IN THE SOIL, UNLESS OTHERWISE NOTED ON THE PLANS. THE RATE OF APPLICATION PER ACRE, THICKNESS IN PLACE, FOR THE VARIOUS MULCHING MATERIALS ARE AS FOLLOWS:

- PRAIRIE HAY MULCHING 1-3/4 - 2-1/4 TONS PER ACRE = 1-1/2"
- LOOSE DEPTH SPREAD UNIFORMLY OVER ACRE.
- BROOMGRASS MULCHING 1-3/4 - 2-1/4 TONS PER ACRE = 1-1/2"
- LOOSE DEPTH SPREAD UNIFORMLY OVER ACRE.
- WHEAT OR OATS STRAW MULCHING 1-1/2 - 2 TONS PER ACRE = 3"
- LOOSE DEPTH SPREAD UNIFORMLY OVER ACRE.
- WOOD CHIPS MULCHING 4 - 5 TONS PER ACRE = 1-2"
- LOOSE DEPTH SPREAD UNIFORMLY OVER ACRE.
- WOOD FIBER MULCHING 3/4 - 1 TONS PER ACRE =
- SPREAD UNIFORMLY OVER ACRE.
- OTHER VEGETATIVE MULCHES (ACCEPTABLE ONLY WITH THE ENGINEER'S CONCURRANCE).

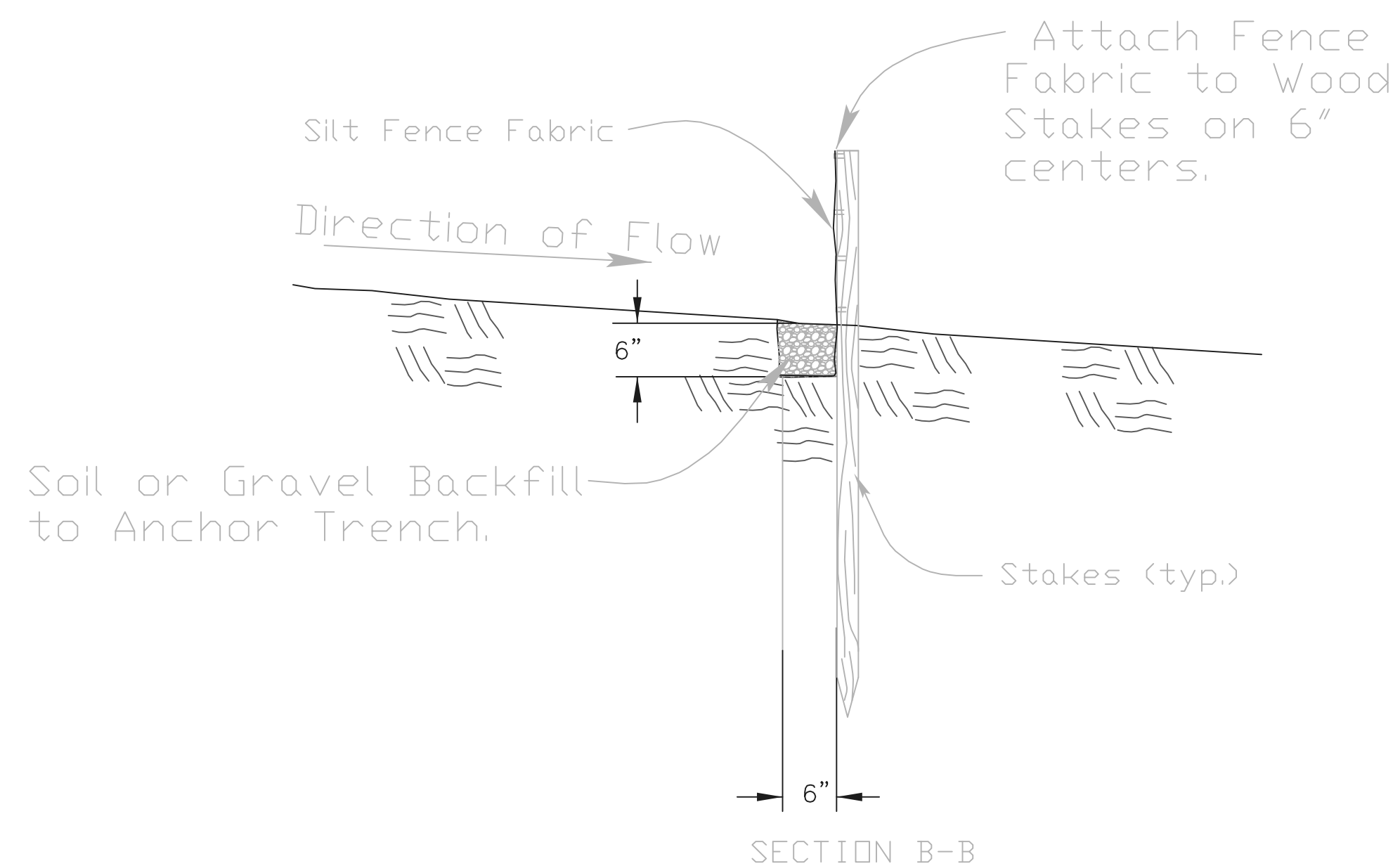
THE ABOVE RATES ARE A GUIDE. IT WILL BE AT THE DISCRETION OF THE ENGINEER TO DETERMINE WHAT RATE IS SUFFICIENT FOR ADEQUATE PROTECTION OF NEWLY SEEDED AREAS.

THE AMOUNT OF MULCH IN THE BID QUANTITIES IS ESTIMATED. THE TOTAL MULCH REQUIRED SHALL BE DETERMINED IN THE FIELD. THE BID ITEM FOR MULCHING SHALL BE PAID FOR BY ONE OF THE FOLLOWING WAYS: A) PLAN QUANTITY AS SHOWN ON SUMMARY OF QUANTITIES, SEEDING SHEET OR WATER POLLUTION CONTROL SHEET, B) SLOPE MEASUREMENT AS MEASURED IN FIELD, OR C) DRILL MEASUREMENT LESS 5% AS MEASURED AT THE TIME OF SEEDING.

Fertilizer (13-13-13) to be applied at a rate of 500 lbs/acre
K-31 Fescue to be applied at a rate of 400 lbs/acre

SUMMARY OF SEEDING QUANTITIES

P.L.S. RATE/ACRE	*ACRES	BID ITEM	QUANTITY	UNIT
500	2	FERTILIZER (10-10-10)	1000	lbs.
400	2	K-31 FESCUE SEED	800	lbs.
*Estimated area to be seeded				
		TEMPORARY DITCH CHECKS (Straw or Hay Bales)		
		TEMPORARY SLOPE BARRIER (Silt Fence)		
		MULCHING (Temporary)		



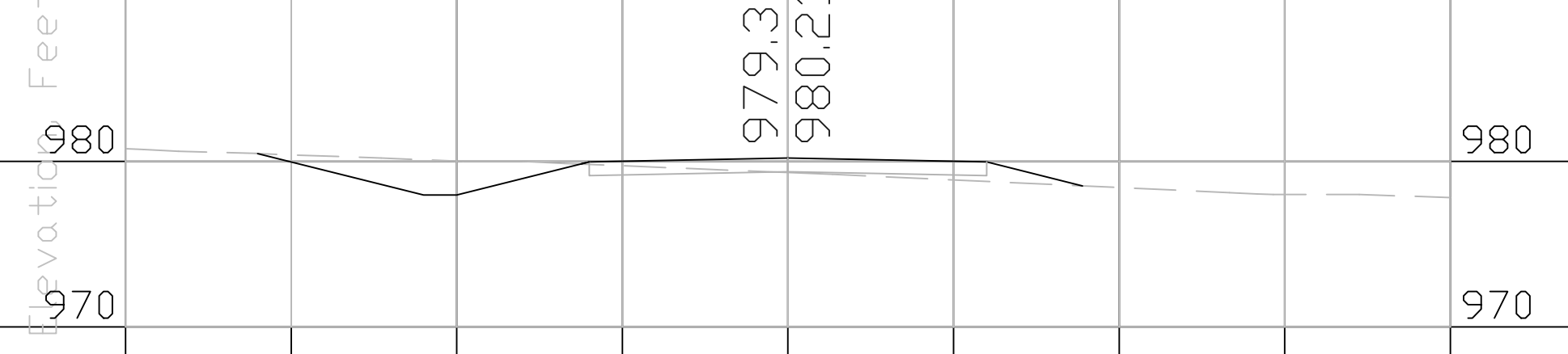
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Designed By	Drawn By	Checked By	Date	Job No.

169th STREET EXTENSION LEAVENWORTH COUNTY KS	DETAILS
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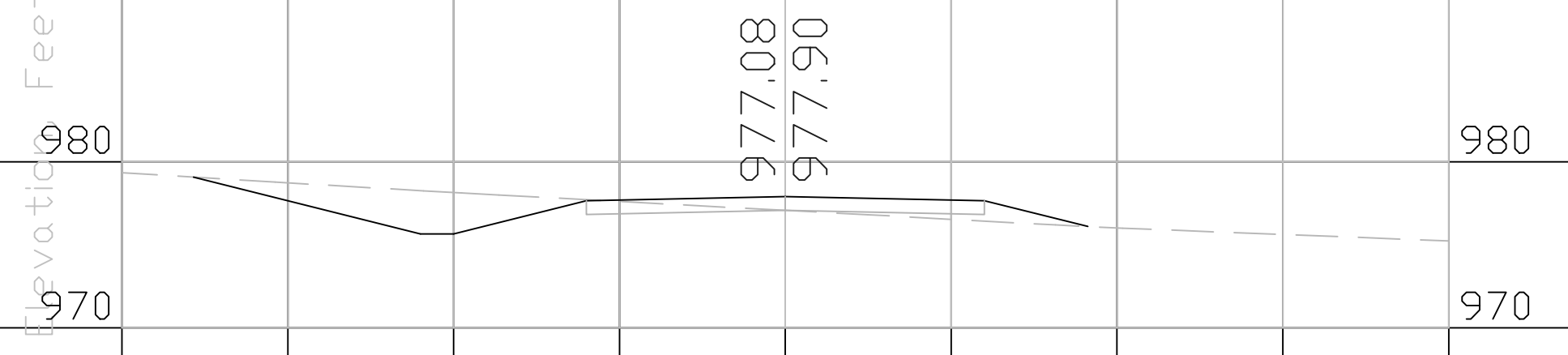
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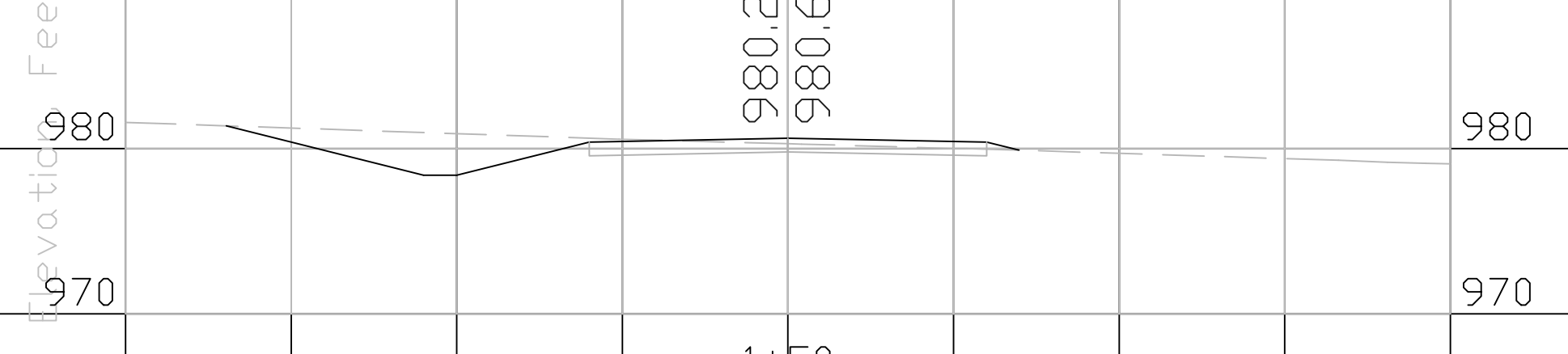
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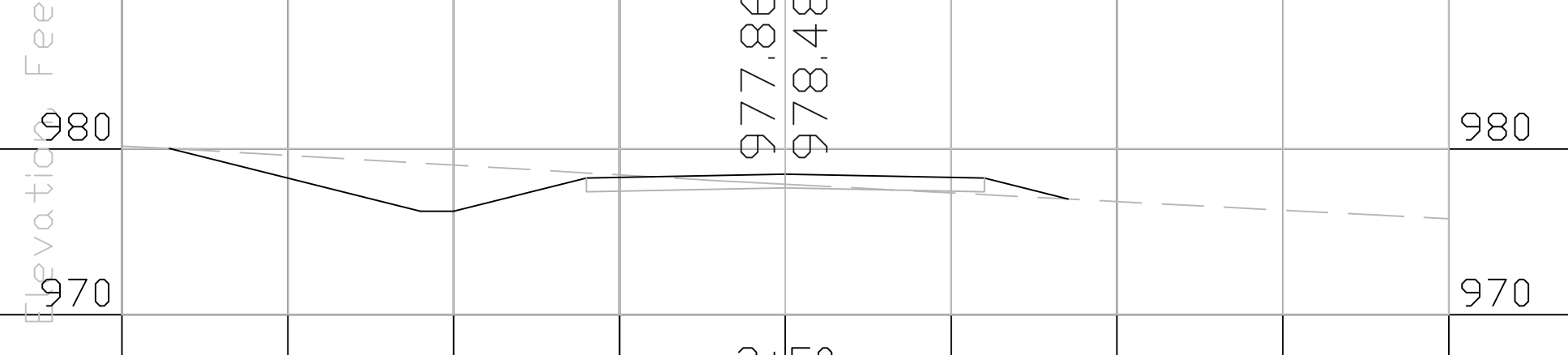
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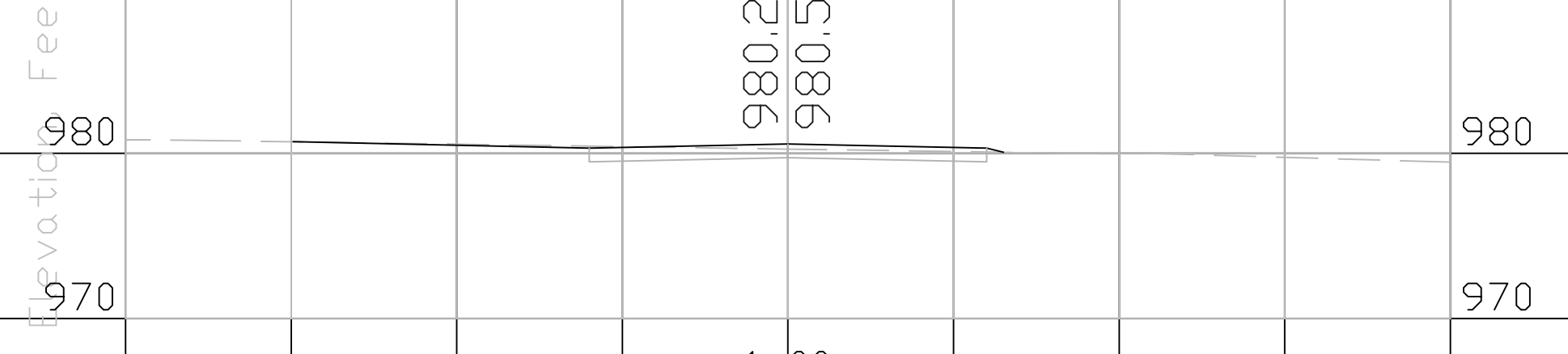
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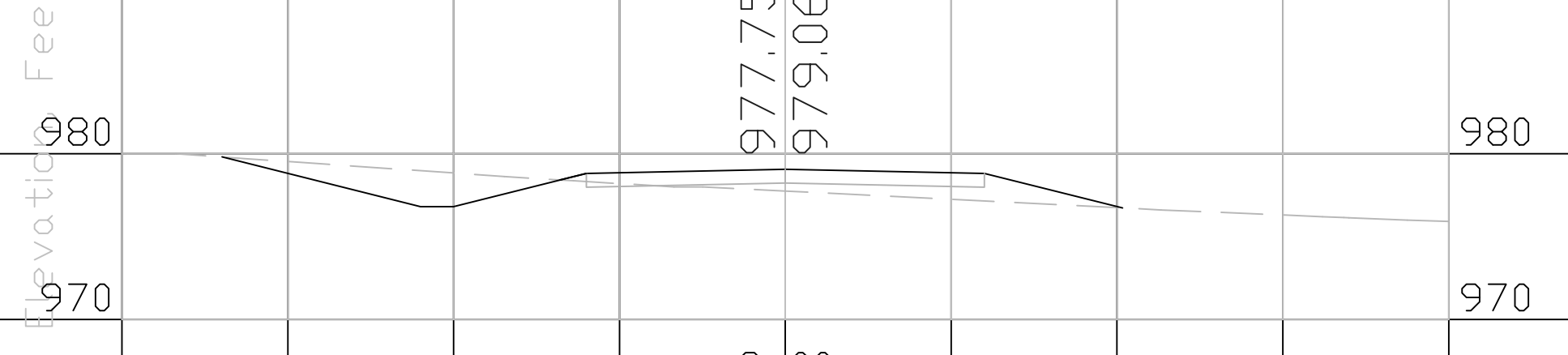
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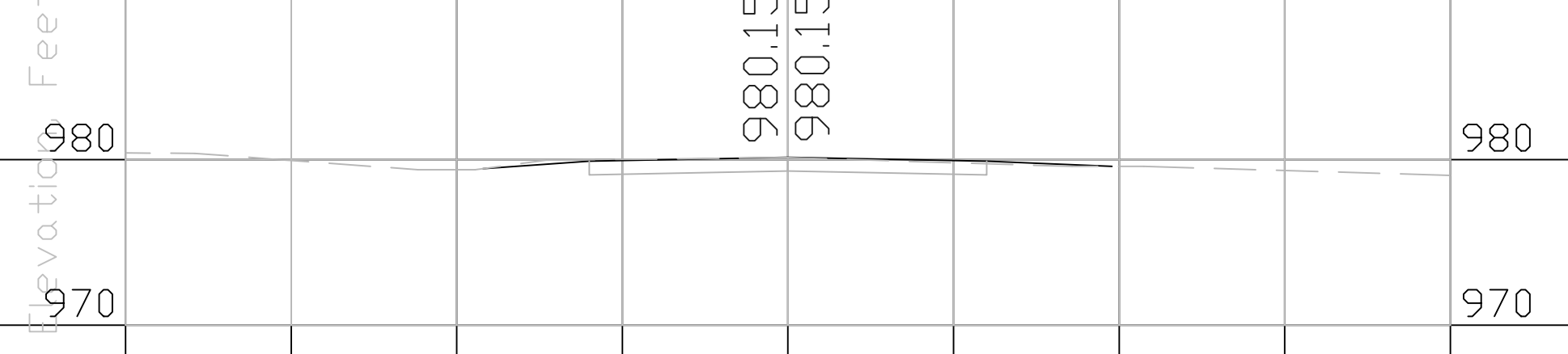
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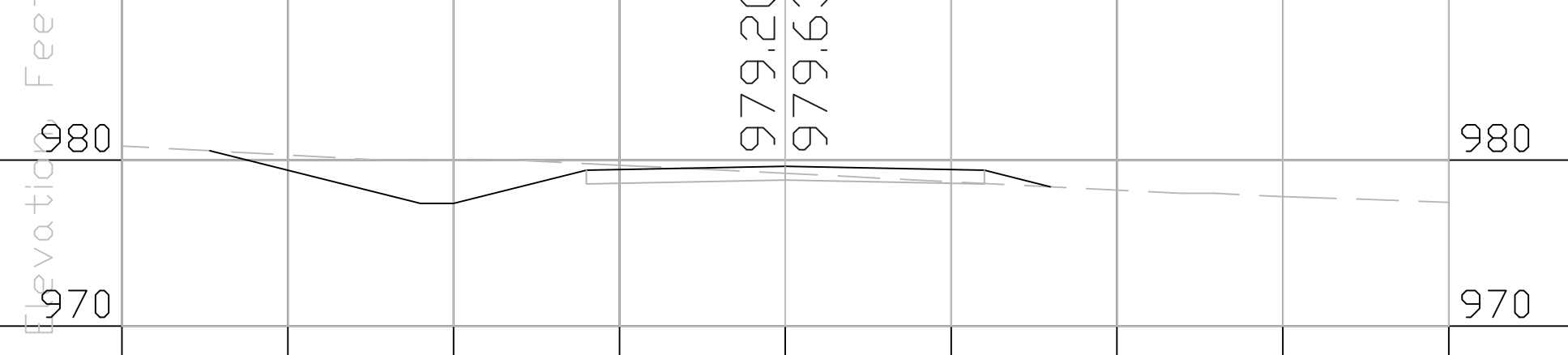
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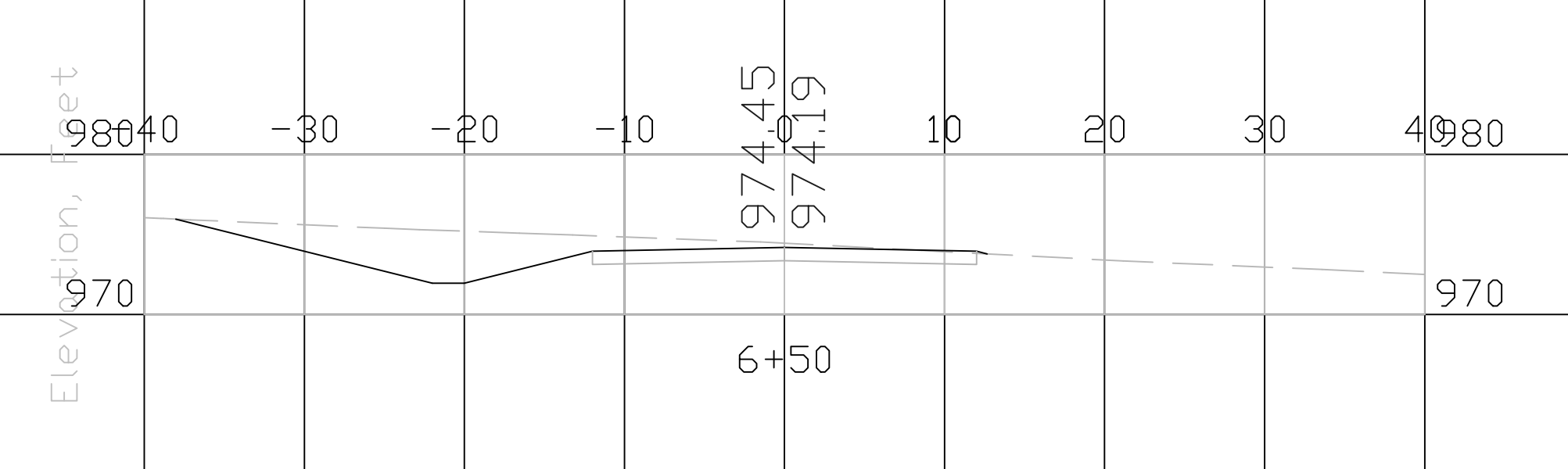
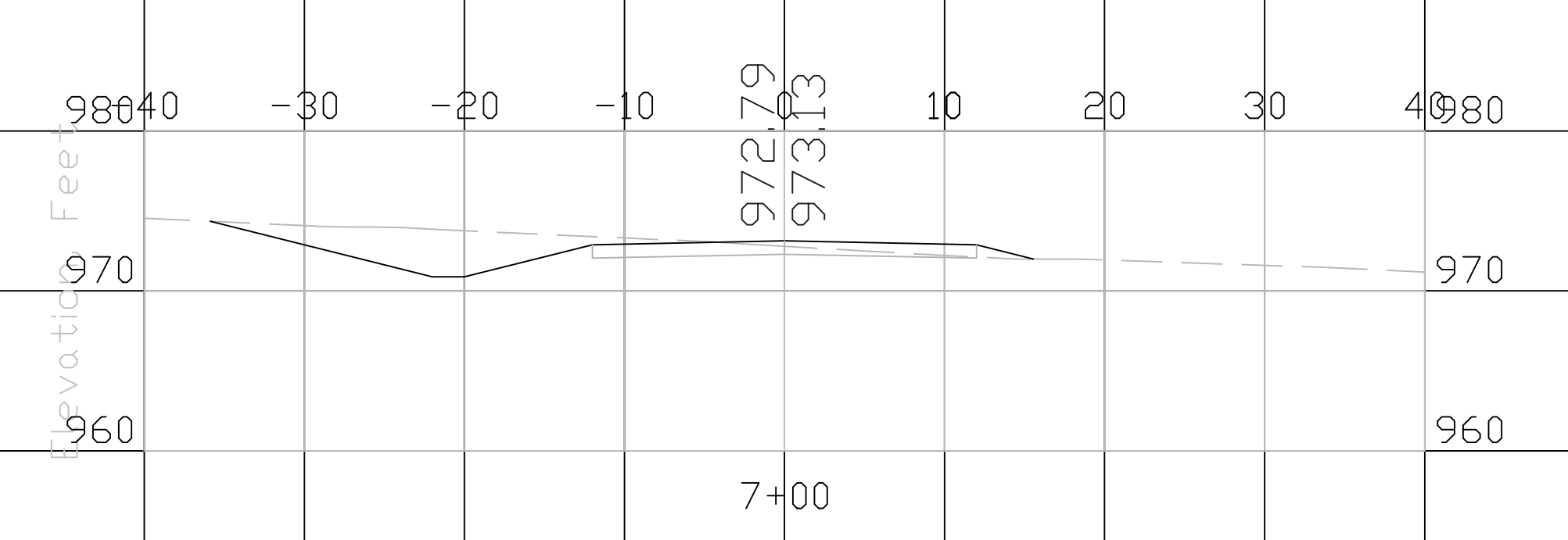
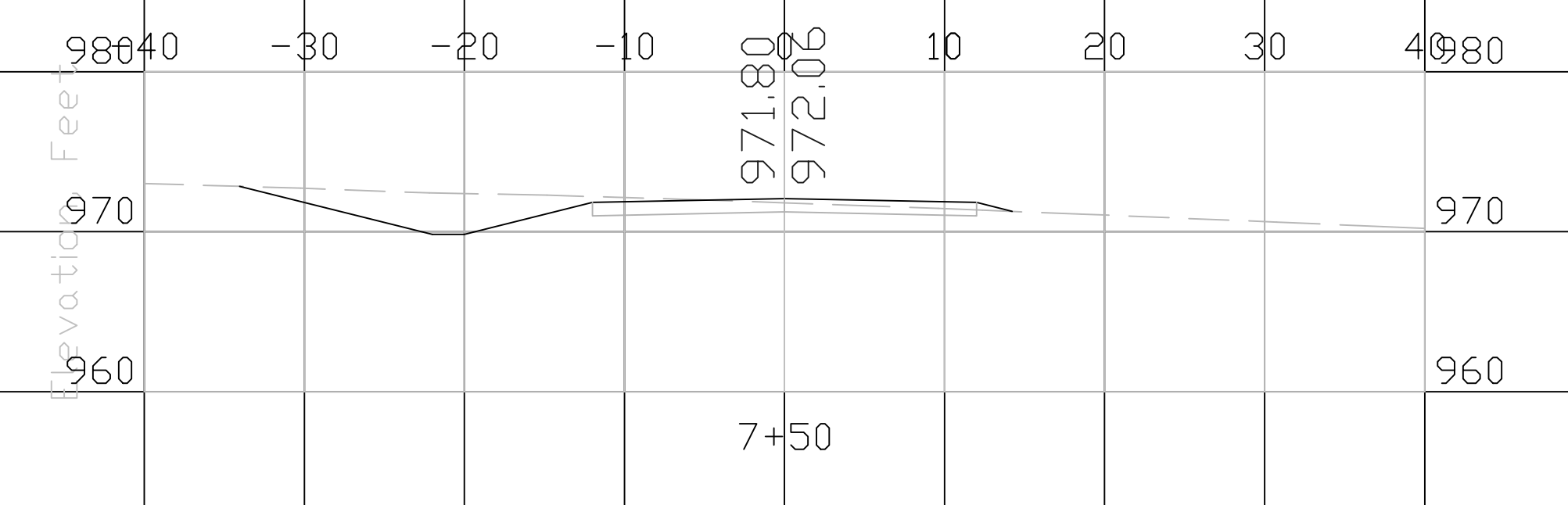
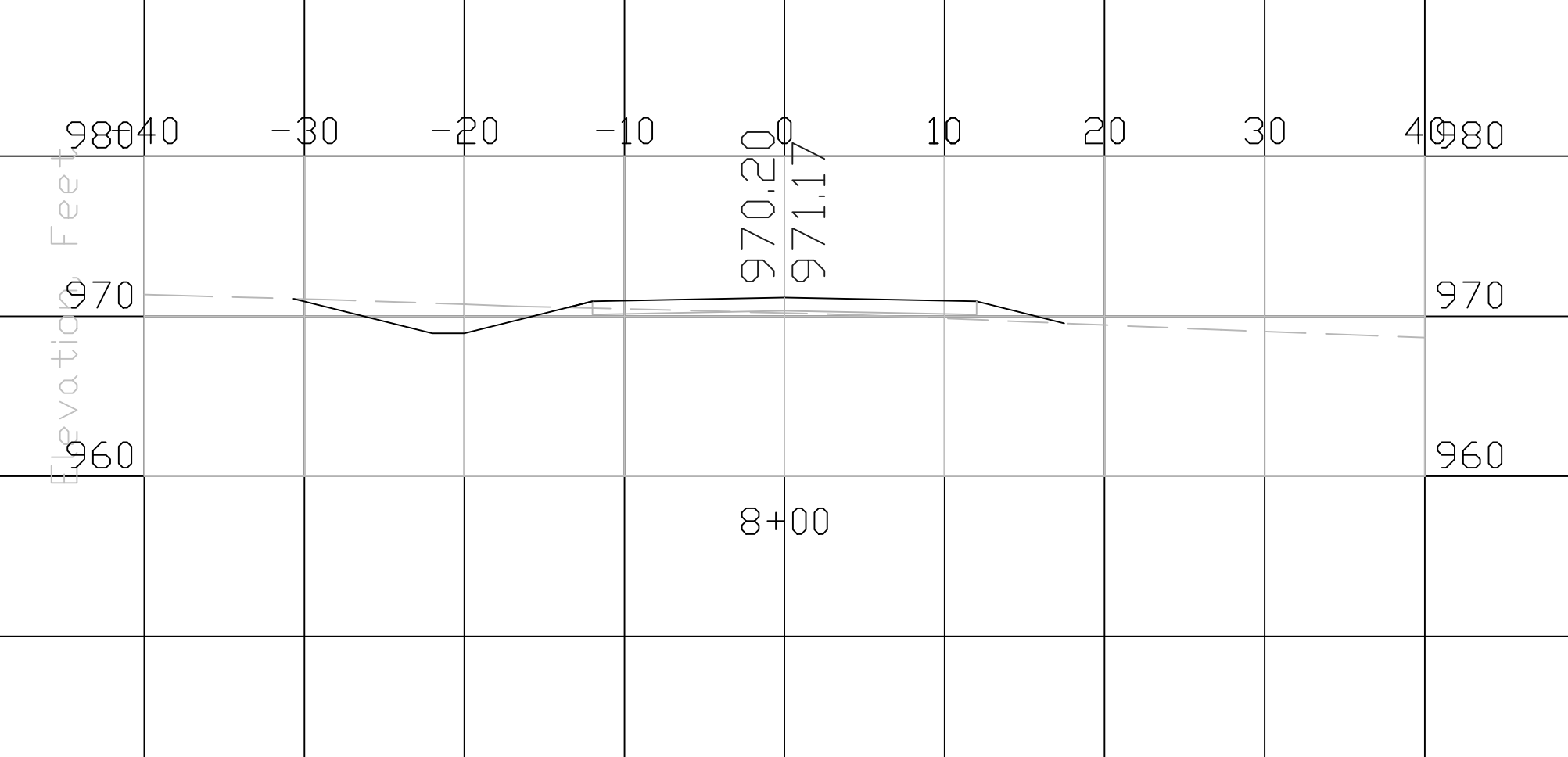
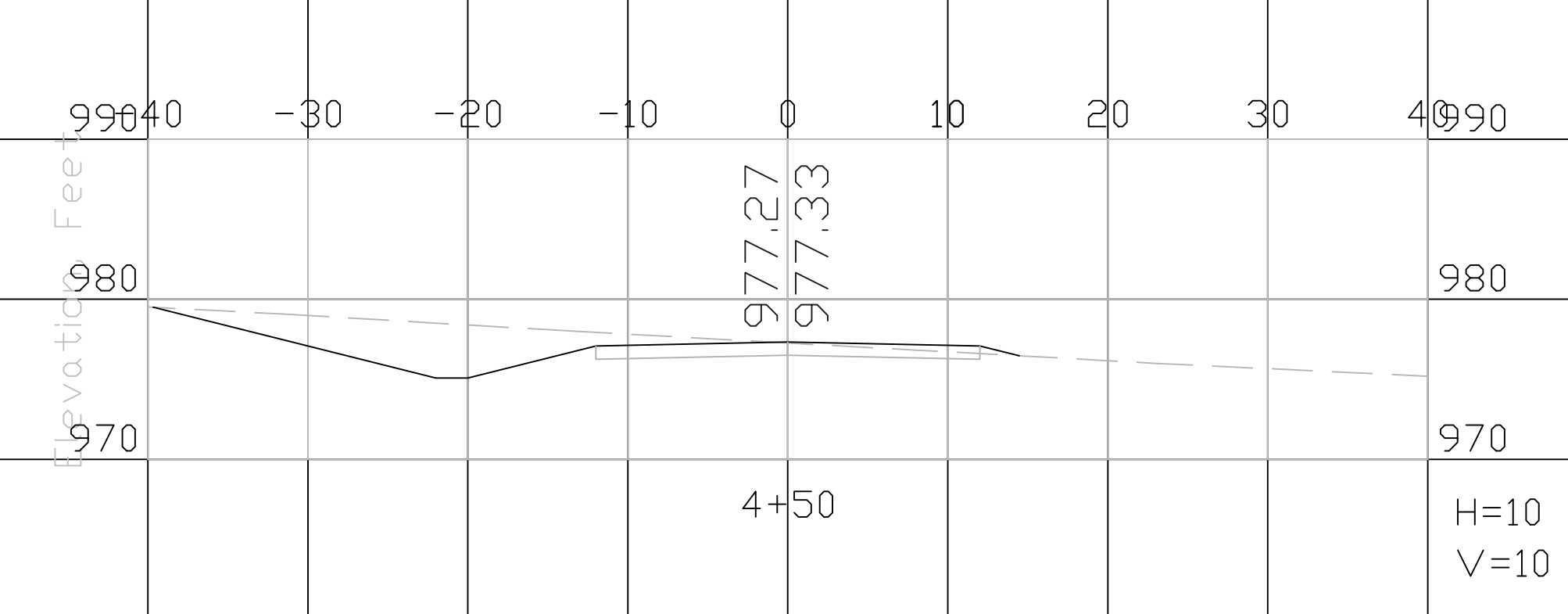
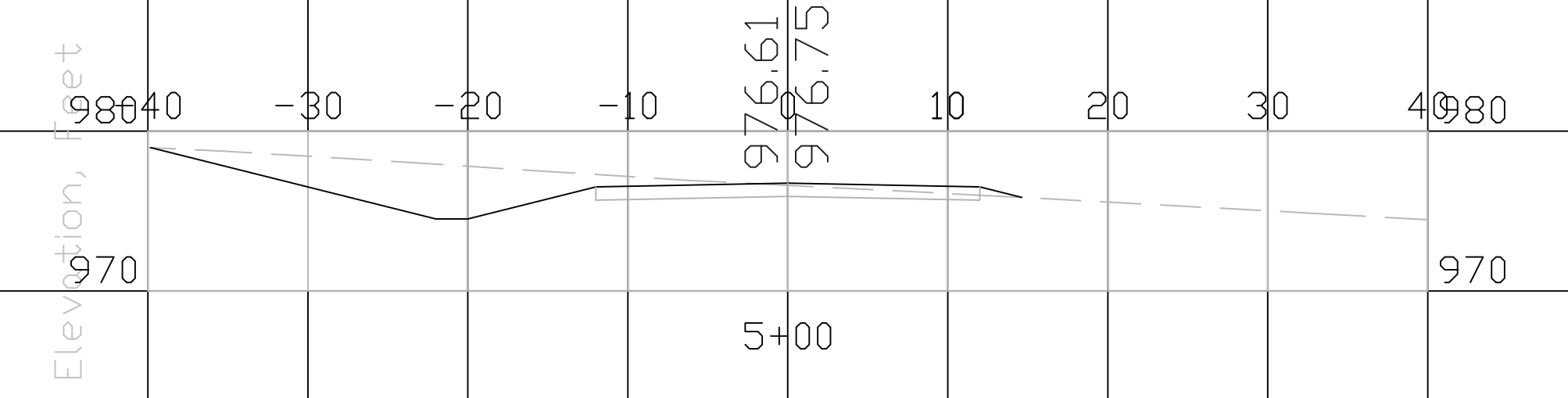
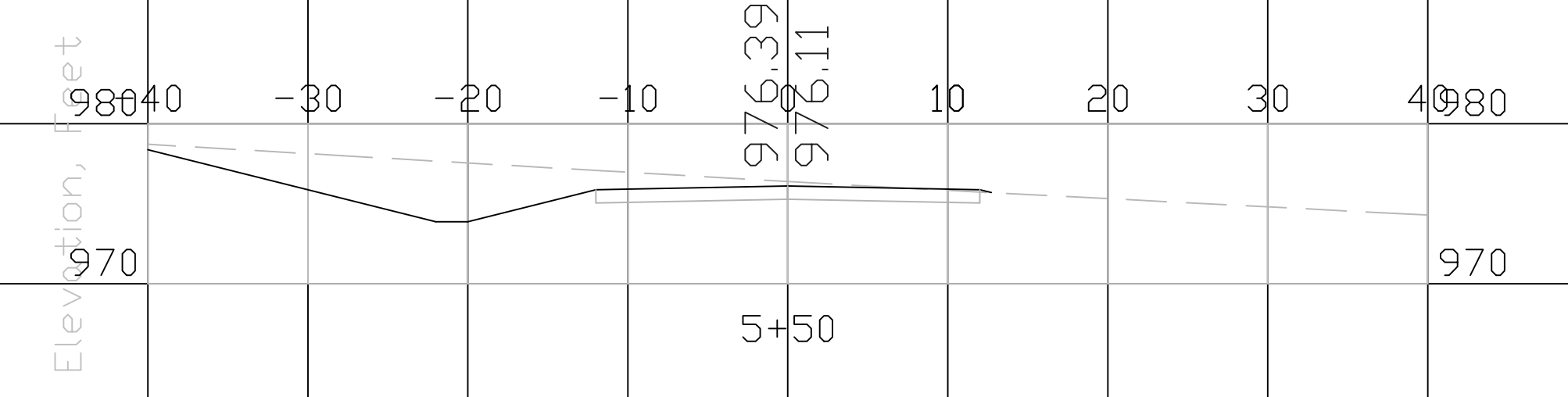
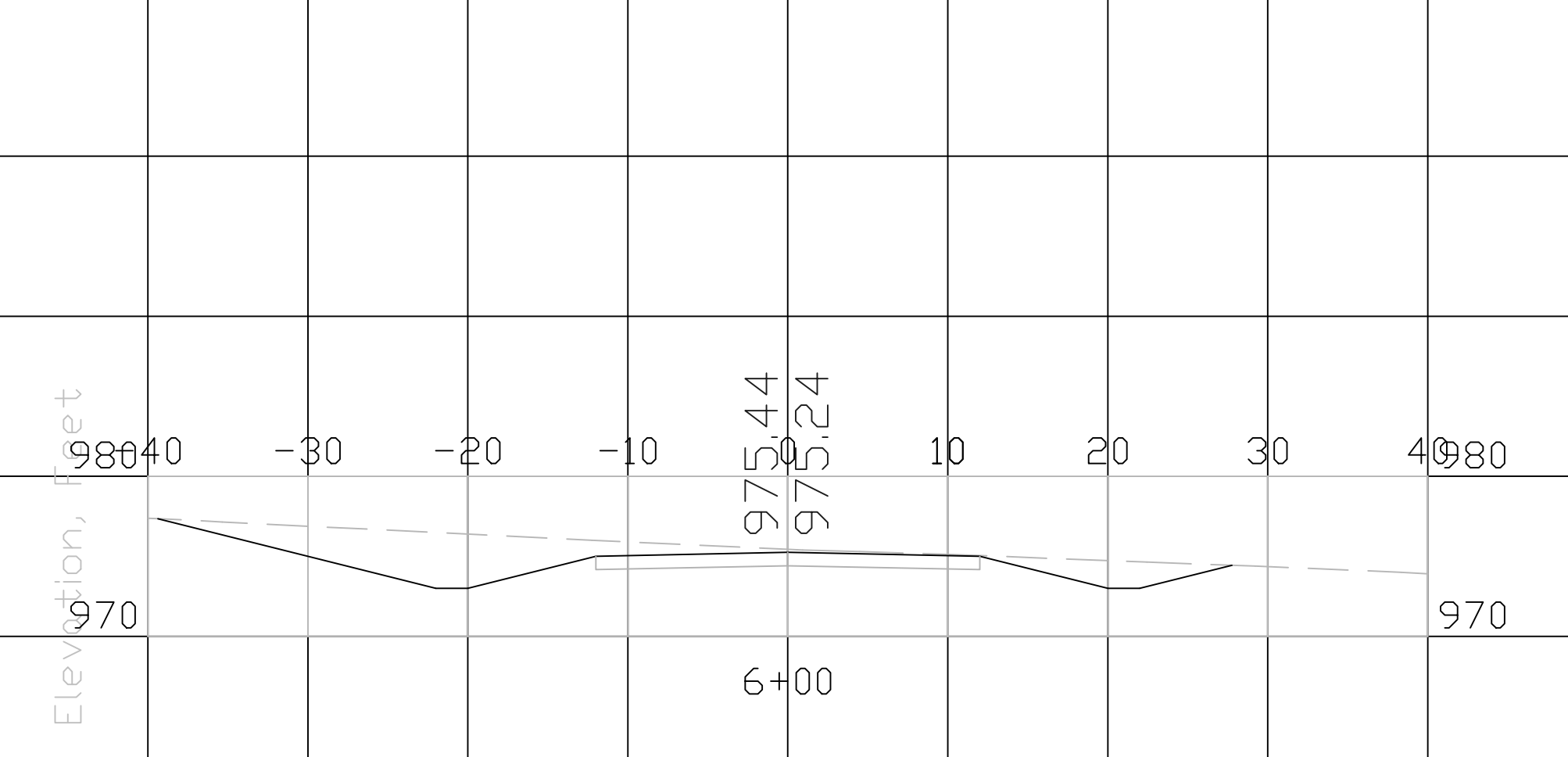
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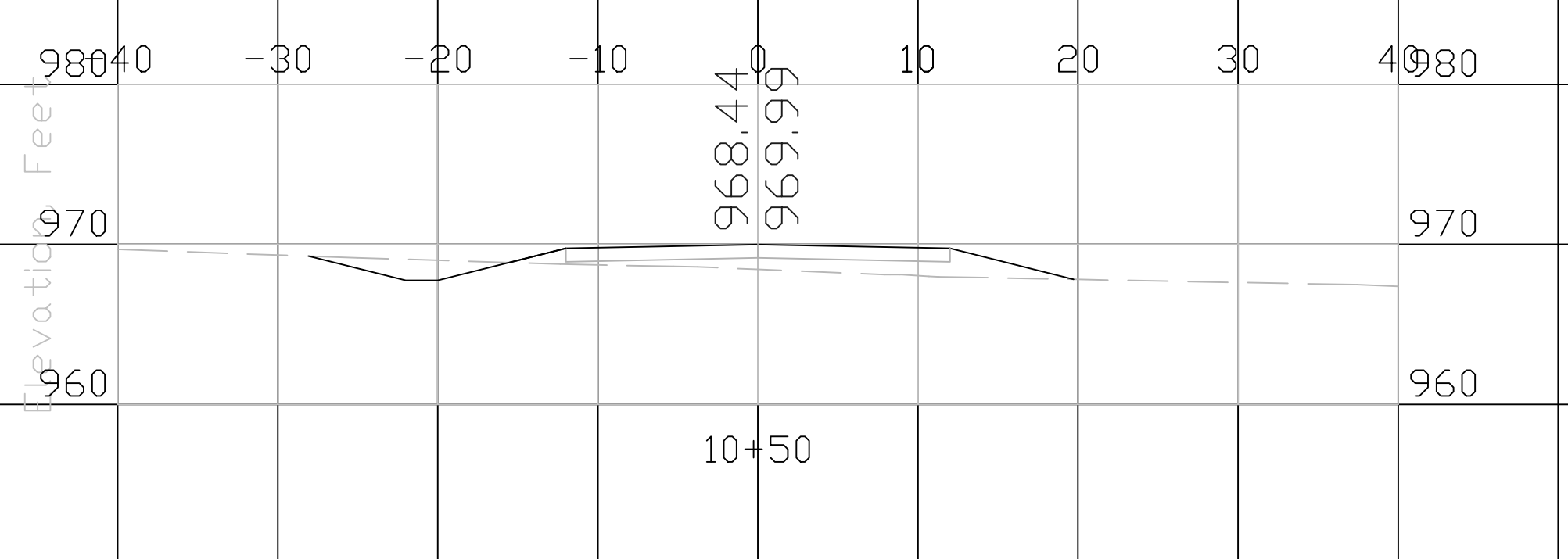
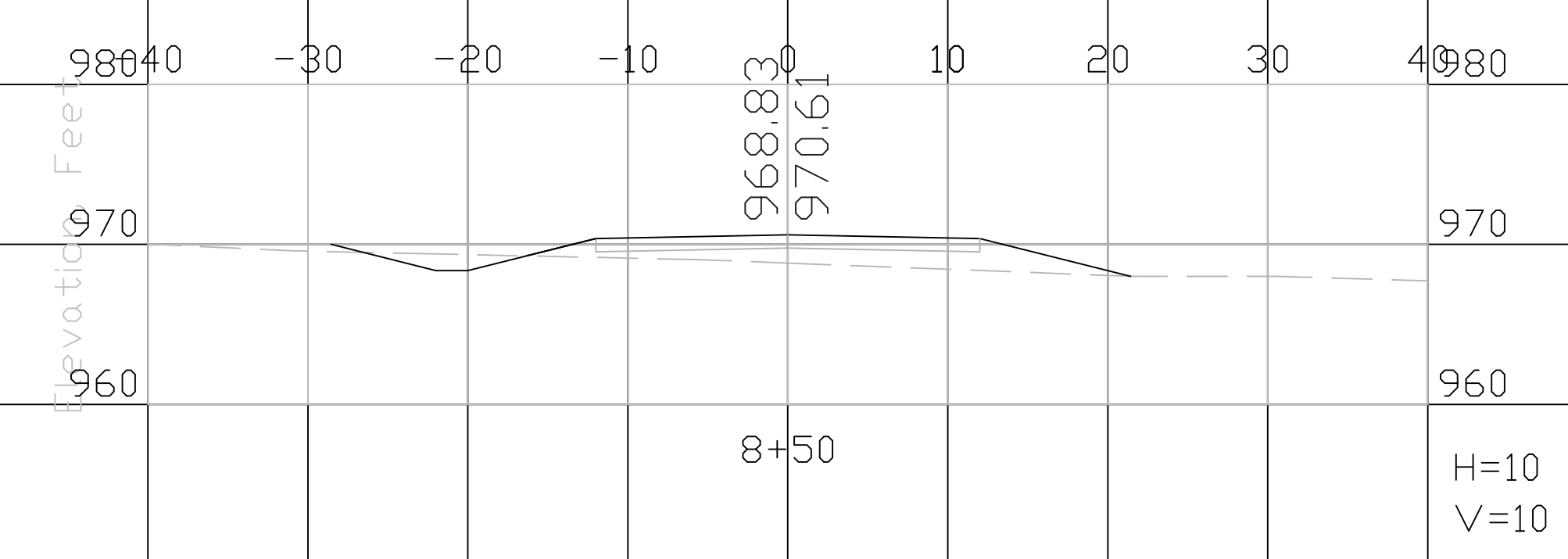
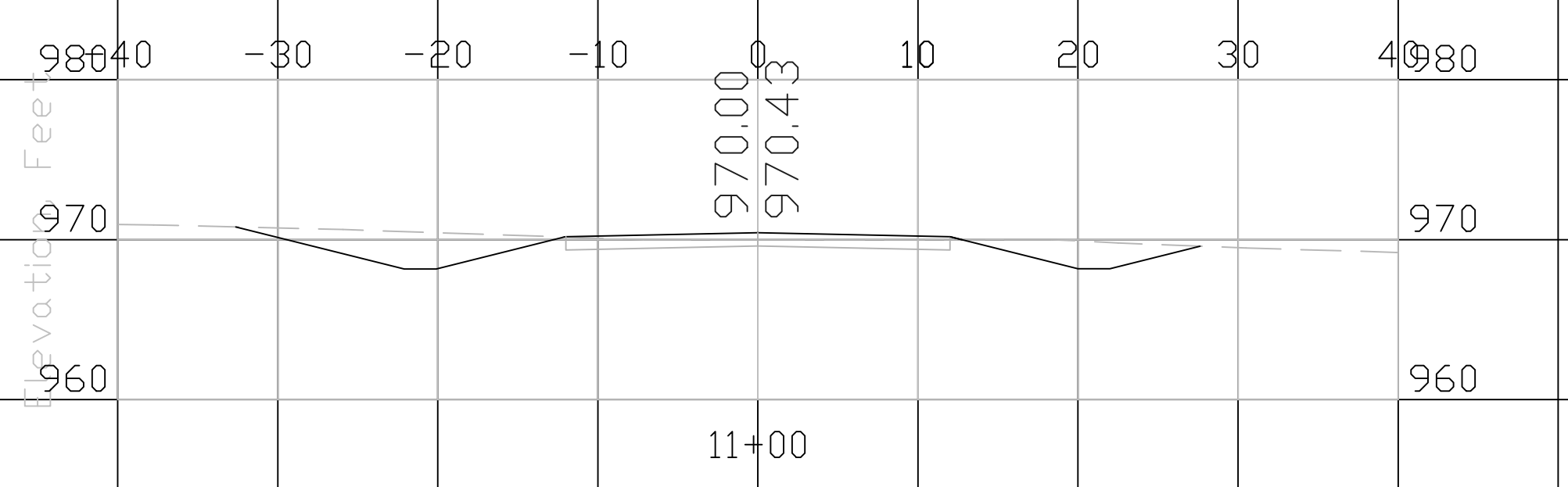
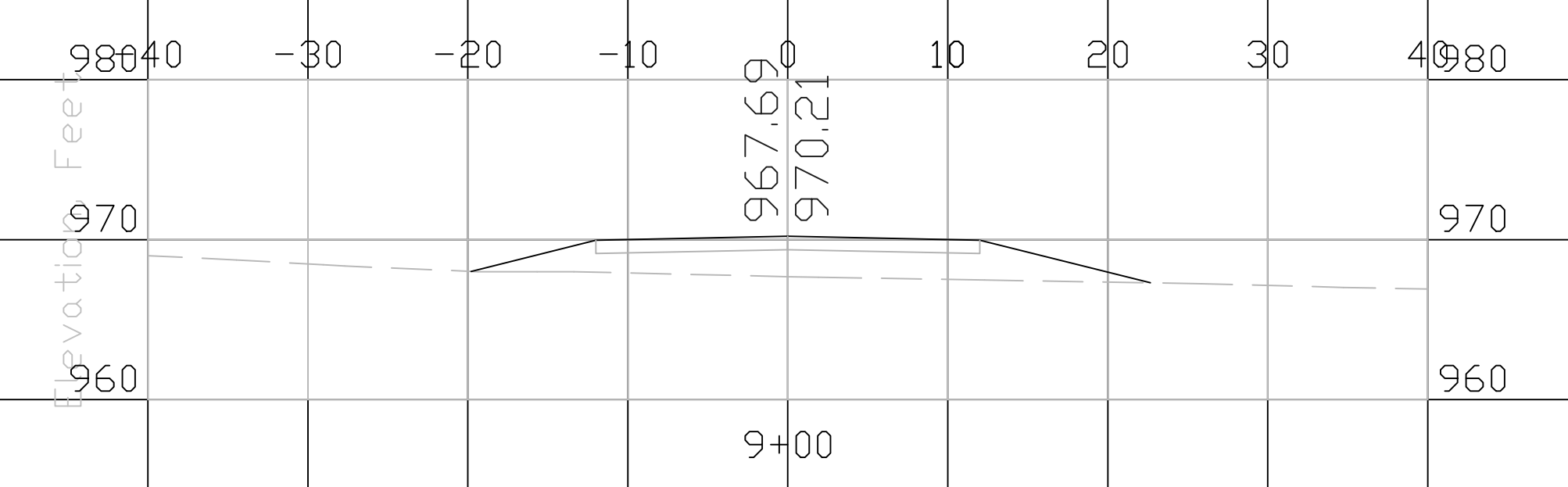
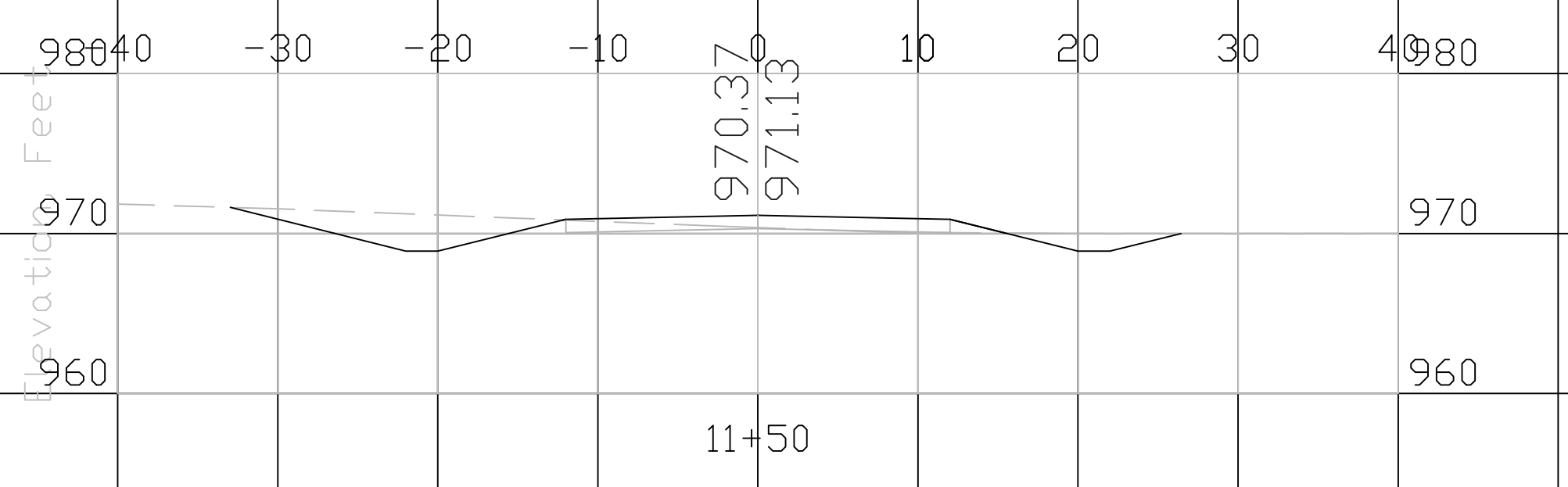
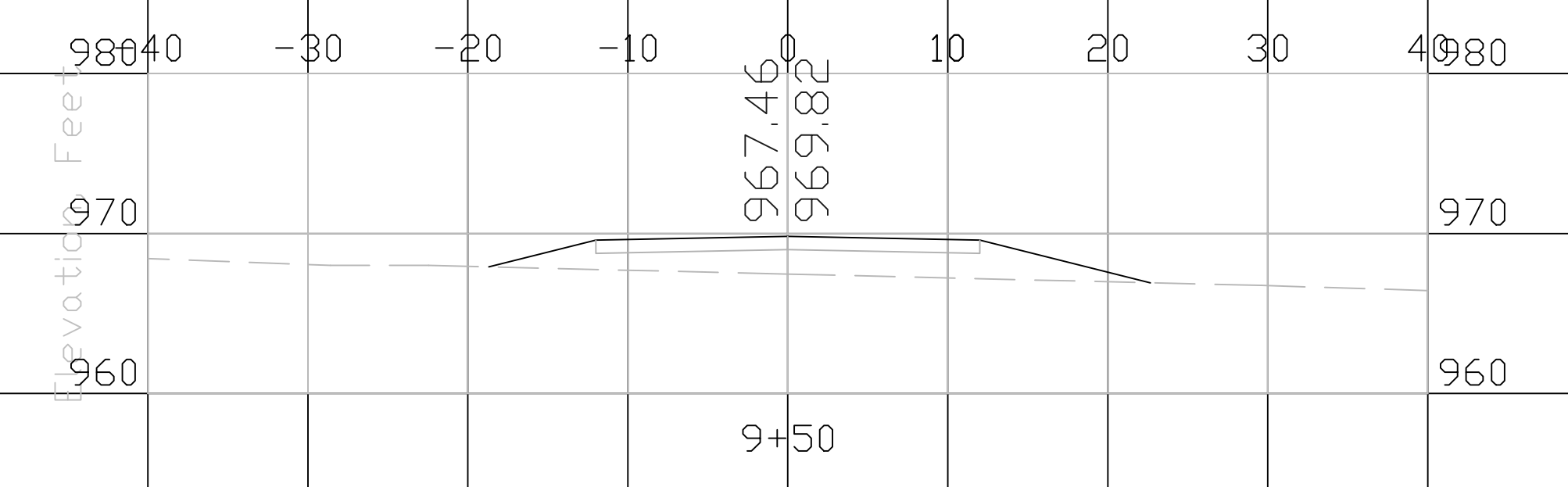
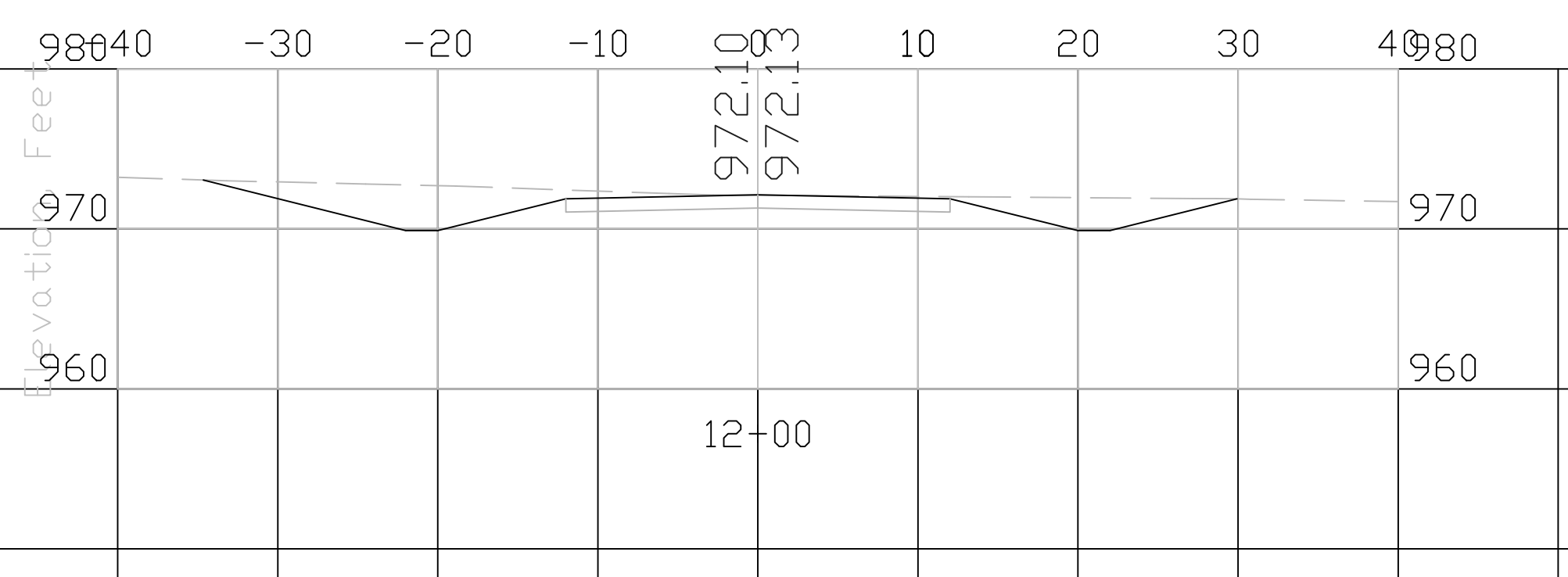
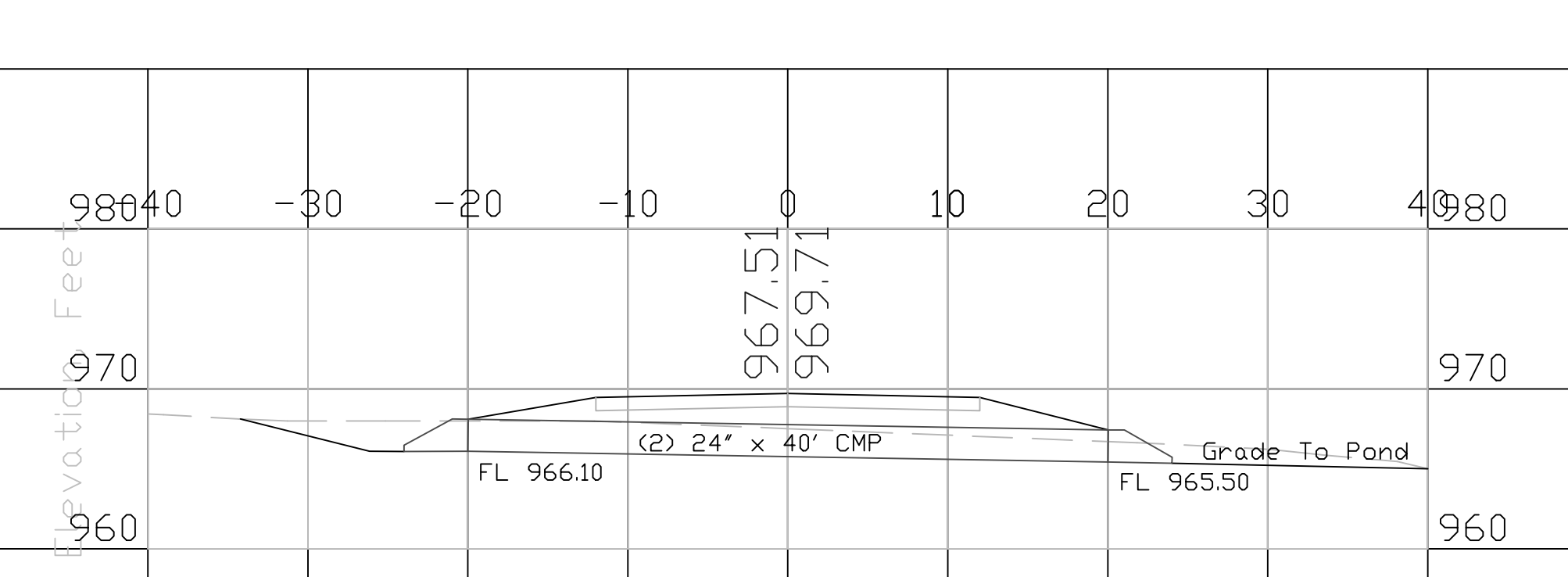
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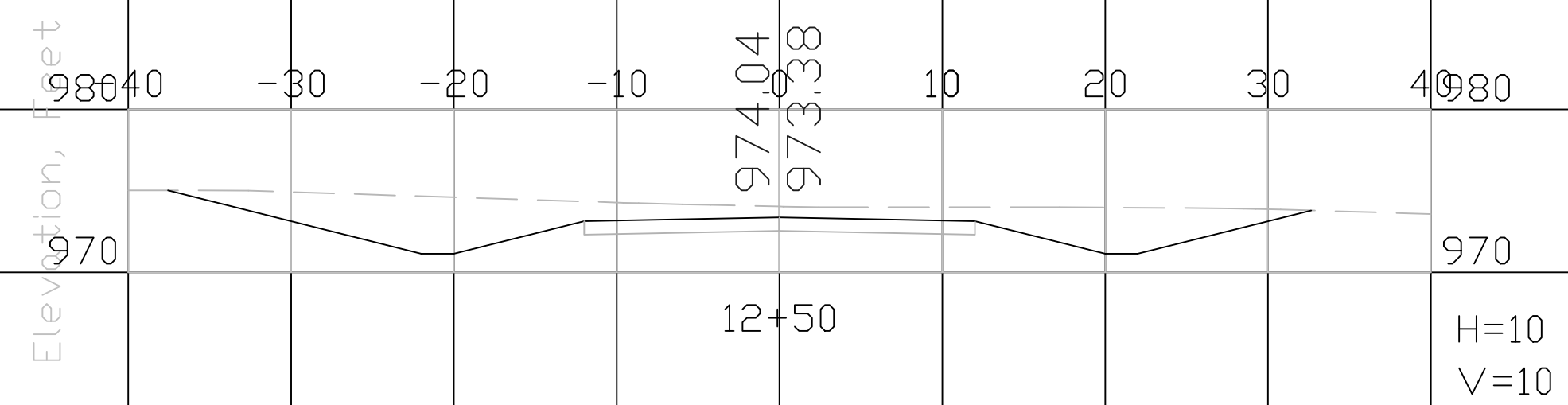
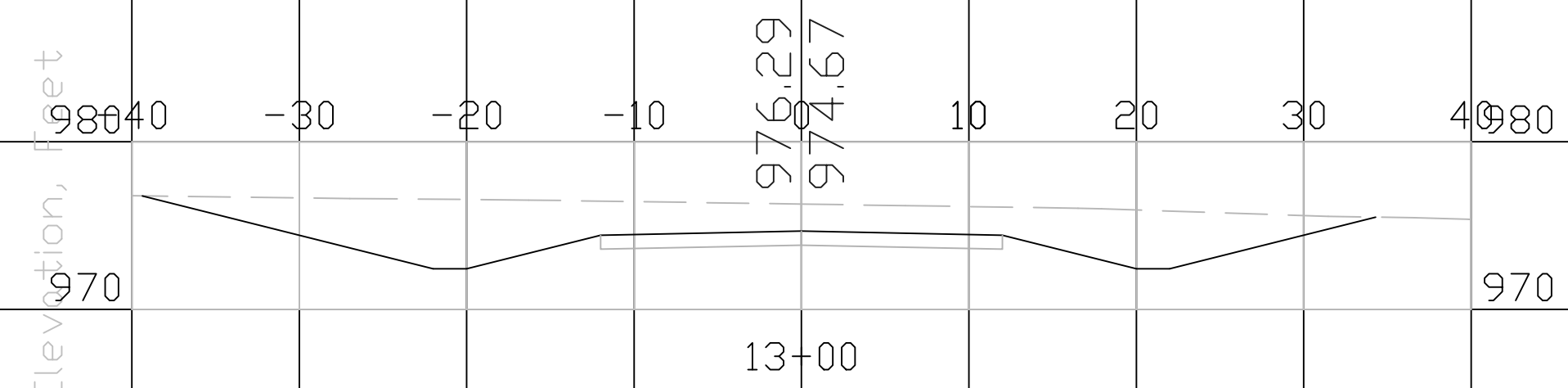
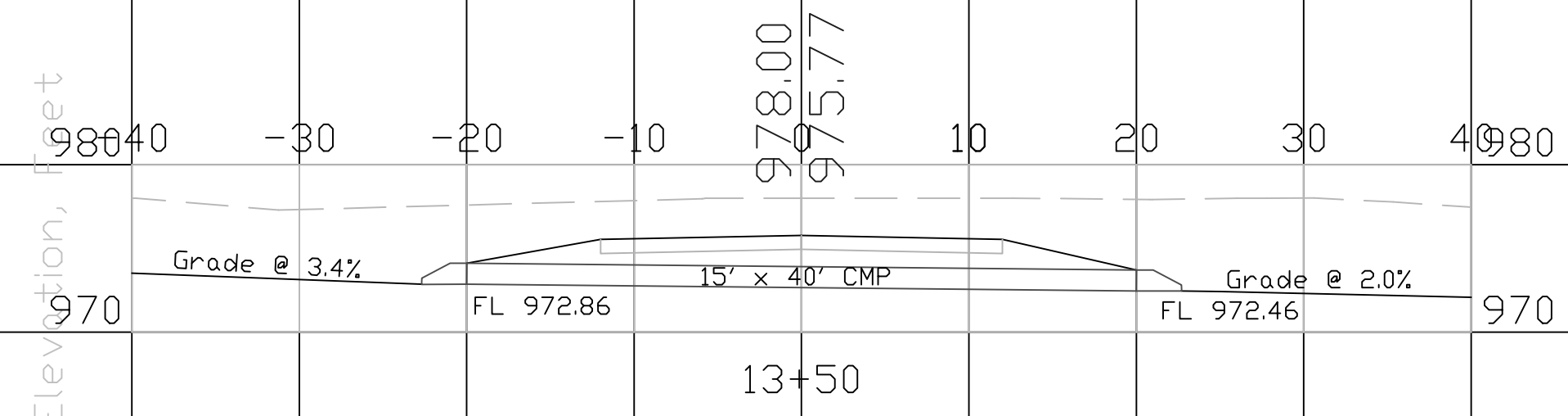
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2+50







The sight distance at the intersection of 169th St & Evans Rd was checked for conformance to the requirements of AASHTO's A Policy on Geometric Design of Highways and Streets (2001 Edition). Those requirements are shown below.

Left Turn from Stop

$$ISD = 1.47 * V_m * T_g$$

ISD - Intersection Sight Distance (ft)

V_m – Design speed of major road (mph)

T_g – time gap for minor road vehicle to enter the major road (seconds)

$$ISD = 1.47 * 45 * 7.5$$

$$ISD = 496\text{-ft}$$

Metric				US Customary			
Design speed (km/h)	Stopping sight distance (m)	Intersection sight distance for passenger cars		Design speed (mph)	Stopping sight distance (ft)	Intersection sight distance for passenger cars	
		Calculated (m)	Design (m)			Calculated (ft)	Design (ft)
20	20	41.7	45	15	80	165.4	170
30	35	62.6	65	20	115	220.5	225
40	50	83.4	85	25	155	275.6	280
50	65	104.3	105	30	200	330.8	335
60	85	125.1	130	35	250	385.9	390
70	105	146.0	150	40	305	441.0	445
80	130	166.8	170	45	360	496.1	500
90	160	187.7	190	50	425	551.3	555
100	185	208.5	210	55	495	606.4	610
110	220	229.4	230	60	570	661.5	665
120	250	250.2	255	65	645	716.6	720
130	285	271.1	275	70	730	771.8	775
				75	820	826.9	830
				80	910	882.0	885

Note: Intersection sight distance shown is for a stopped passenger car to turn left onto a two-lane highway with no median and grades 3 percent or less. For other conditions, the time gap must be adjusted and required sight distance recalculated.

Exhibit 9-55. Design Intersection Sight Distance—Case B1—Left Turn From Stop

Right Turn from Minor Road

$$ISD = 1.47 * V_m * T_g$$

ISD - Intersection Sight Distance (ft)

V_m – Design speed of major road (mph)

T_g – time gap for minor road vehicle to enter the major road (seconds)

$$ISD = 1.47 * 45 * 6.5$$

$$ISD = 430\text{-ft}$$

Metric				US Customary			
Design speed (km/h)	Stopping sight distance (m)	Intersection sight distance for passenger cars		Design speed (mph)	Stopping sight distance (ft)	Intersection sight distance for passenger cars	
		Calculated (m)	Design (m)			Calculated (ft)	Design (ft)
20	20	36.1	40	15	80	143.3	145
30	35	54.2	55	20	115	191.1	195
40	50	72.3	75	25	155	238.9	240
50	65	90.4	95	30	200	286.7	290
60	85	108.4	110	35	250	334.4	335
70	105	126.5	130	40	305	382.2	385
80	130	144.6	145	45	360	430.0	430
90	160	162.6	165	50	425	477.8	480
100	185	180.7	185	55	495	525.5	530
110	220	198.8	200	60	570	573.3	575
120	250	216.8	220	65	645	621.1	625
130	285	234.9	235	70	730	668.9	670
				75	820	716.6	720
				80	910	764.4	765

Note: Intersection sight distance shown is for a stopped passenger car to turn right onto or cross a two-lane highway with no median and grades 3 percent or less. For other conditions, the time gap must be adjusted and required sight distance recalculated.

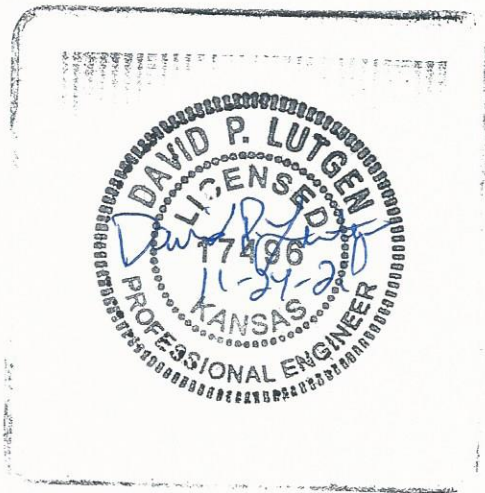
Exhibit 9-58. Design Intersection Sight Distance—Case B2—Right Turn from Stop and Case B3—Crossing Maneuver

A field visit was conducted to verify the actual sight distance at the proposed intersection. The sight distance was field measured to be approximately 700-ft to the west and over 2,000-ft to the east.



Field Measured
Sight Distance
- West 700-ft
- East 2,300-ft

The sight distance at the proposed intersection meets the AASHTO recommended minimum sight distance in both directions.



LEE CHILES 3RD PLAT

A Replat of Lot 1, LEE CHILES SUBDIVISION Phase 1, and a tract of land in the Northeast Quarter of Section 16, Township 11 South, Range 22 East Leavenworth County, Kansas.

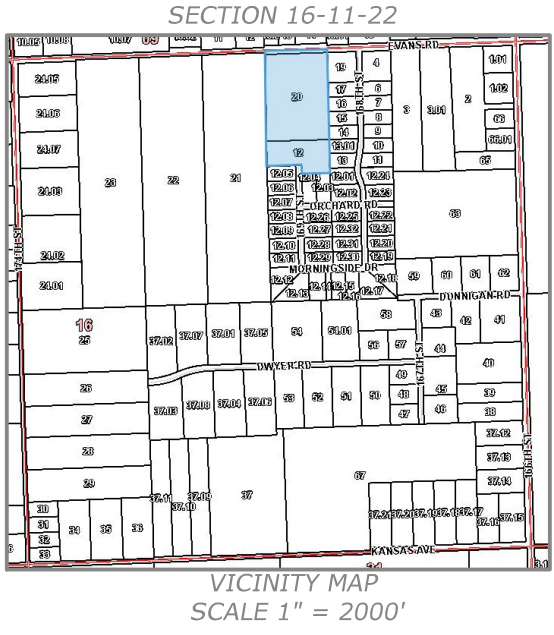
PRELIMINARY PLAT

PREPARED FOR:
Precision Contracting & Development Inc.
15395 Briar Road Suite A
Basehor, Kansas 66007
PID #185-16-0-00-012
PID #185-16-0-00-020

RECORD DESCRIPTION:
Tract I:
Lot 1, LEE CHILES SUBDIVISION, PHASE 1, Leavenworth County, Kansas.

Tract II:
The West 1/4 of the Northeast Quarter of Section 16, Township 11, Range 22 East, Leavenworth County, Kansas, beginning 966.47 feet South of the Northwest corner; thence South 268.99 feet; thence East 357.14 feet; thence South 90 feet; thence East 300.00 feet; thence North 360 feet; thence West 657.47 feet to Point of

RECEIVED
11/19/2021, 10:24:34 am



- RESTRICTIONS:**
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
 - 2) An Engineered Waste Disposal System will be required per Sanitary Sewer Codes.
 - 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
 - 4) Lots are subject to the current Access Management Policy
 - 5) No off-plat restrictions.

ZONING:
R-1 (43), One-Family Dwelling District
Current Use - Rural Residential and Agriculture

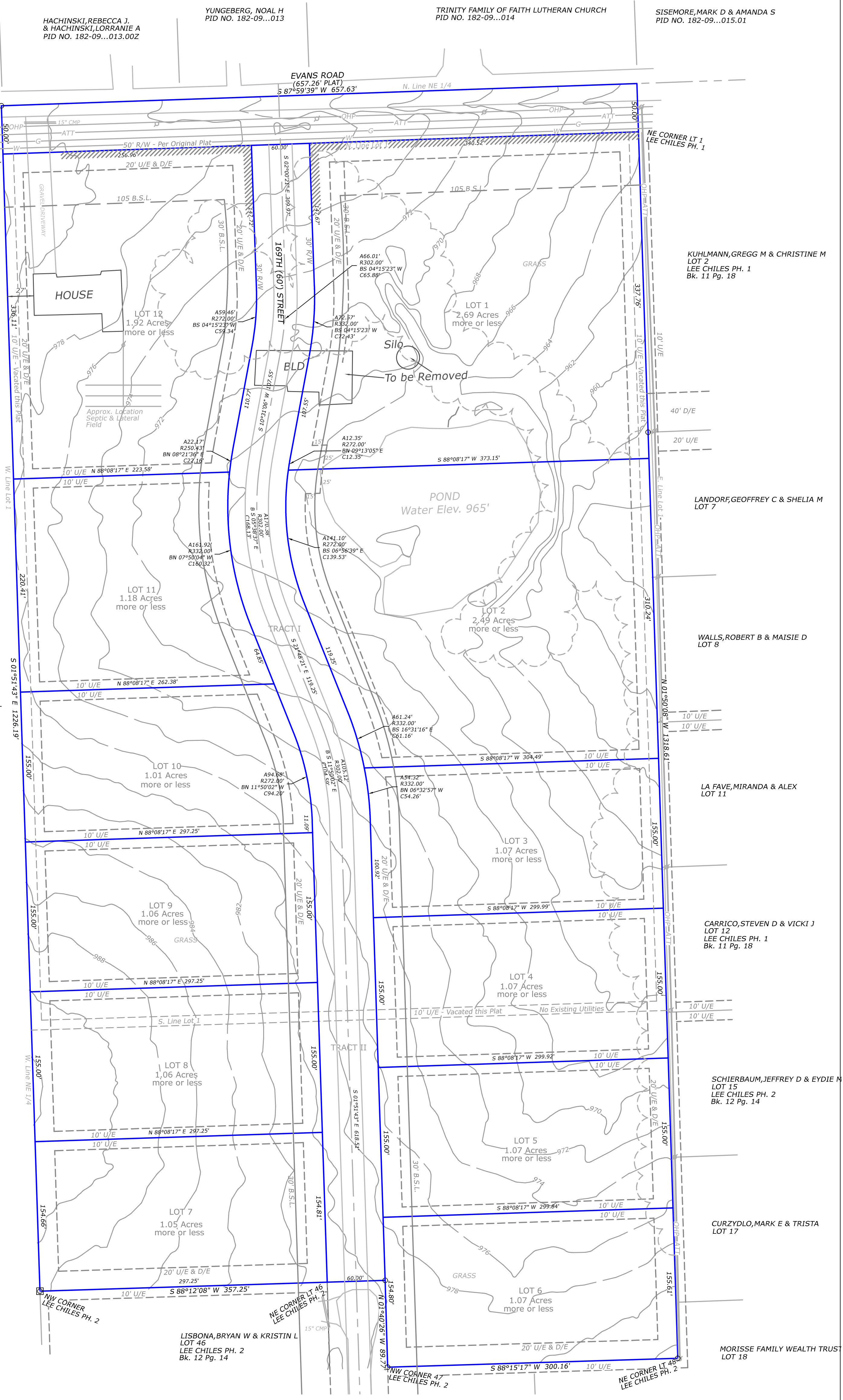
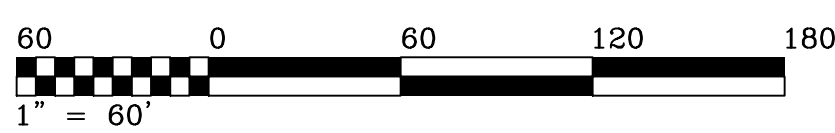
- NOTES:**
- 1) This survey does not show ownership.
 - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
 - 3) All recorded and measured distances are the same, unless otherwise noted.
 - 4) Error of Closure - See Error of Closure Calculations
 - 5) Basis of Bearing - KS SPC NORTH Zone 1501 North Line of the Northeast Quarter
 - 6) Monument Origin Unknown, unless otherwise noted.
 - 7) Proposed Lots for Residential Use.
 - 8) Road Record - See Survey
 - 9) Benchmark - NAVD83
Project Benchmark (BM) - NW COR NE 1/4 - 1/2" Bar - 840'
 - 10) Easements, if any, are created hereon or listed in referenced title commitment.
 - 11) Reference Recorded Deed Document No. 2020R13331
 - 12) Utility Companies -
- Water - Suburban
- Electric - Every
- Sewer - Septic
- Gas - Propane / Natural Gas
 - 13) Reference Security 1st Title Report No: 2478273
Effective Date October 1, 2021
 - 14) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 2010C30350G dated July 16, 2015
 - 15) Building Setback Lines as shown hereon or noted below
- All side yard setbacks - 10'
- All rear yard setbacks - 30' (Accessory - 15')
 - 16) Distances to and of structures, if any, are +- 1'.
 - 17) Easements as per referenced Title Commitment are shown hereon, if any.
 - 18) Fence Lines do not necessarily denote the boundary line for the property.
 - 19) Reference Surveys:
- Recorded Plat of LEE CHILES SUBDIVISIONS
- Phase 1 - Book 11 Page 18 dated 1987
- Phase 2 - Book 12 Page 14 dated 1990

- LEGEND:**
- - 1/2" Rebar Set with Cap No. 1296
 - - 1/2" Rebar Found, unless otherwise noted.
 - - Concrete Base around monument
 - △ - PK Nail Found in Place
 - () - Record / Deeded Distance
 - U/E - Utility Easement
 - D/E - Drainage Easement
 - B.S.L. - Building Setback Line
 - R/W - Permanent Dedicated Roadway Easement dedicated this plat
 - ⊕ - Centerline
 - ⊙ - Section Line
 - ⊙ - Benchmark
 - ⊙ - Power Pole
 - X - Fence Line
 - OHP - Overhead Power Lines
 - ATT - Underground Telephone/Fiber Optic Line
 - ◇ - Gas Valve
 - ⊕ - Water Meter/Valve
 - ⊕ - Telephone Pedestal
 - ⊕ - 6" Water Line - location as per district
 - ⊕ - Gas Line
 - //// - No Vehicle Entrance Access
 - NS - Not Set this survey per agreement with client
 - ~ - Tree/Brush Line



Job # K-20-1388
October 21, 2021 Rev. Nov. 18, 2021

J. HERRING, INC. (dba)
SURVEYING
COMPANY
315 North 5th Street, Leav., KS 66048
Ph. 913.661.3858 Fax 913.674.5381
Email - survey@camcsh.com



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of July thru October 2021 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
PS # 1296

Case No. DEV-21-177/178
Roman Ridge Estates
Preliminary and Final Plat

Staff Report – Planning Commission

December 8, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** Robbins Acquisitions
PO Box 480
Tonganoxie, KS 66086

Agent: Herring Surveying Company
315 N. 5th Street
Leavenworth, KS 66048

Legal Description: A tract of land in the South half of the Northeast Quarter of Section 7,
Township 11 South, Range 21 East of the 6th P.M, in Leavenworth County,
Kansas.

Location: 23142 McLouth Road

Parcel Size: ± 71 acres

Zoning/Land Use: RR-5, Rural Residential 5-acre minimum size parcels & RR-2.5, Rural Residential
2.5-acre minimum size parcels

Comprehensive Plan: This parcel is within the Residential (3 units per acre) land use category.

Parcel ID No.: 193-07-0-00-00-009.00

Planner: Joshua Gentzler

REPORT:

Request

The applicant is requesting a Preliminary and Final Plat for a five (5) lot subdivision.

Adjacent Land Use

The surrounding properties consist of agricultural, residential, and heavy industrial usage on varying sized parcels ranging from 0.8 acres to over 180 acres in size.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C0301G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Tonganoxie Township Fire Department
Water: RWD 6
Electric: Evergy

Access/Streets

The property is accessed by:

- K-16 Highway/Mclouth Road - A State Highway with a paved surface ± 40' wide.
- Sandusky Road – A County collector road with a paved surface ± 25' wide.
- 234th Street – A County local road with a gravel surface ± 20' wide.

Agency Comments

See attached comments – Email – Lauren Anderson – Public Works, December 2, 2021

See attached comments – Email – Mike Bogina –County Survey Reviewer, December 2, 2021

See attached comments – Email – Steven Taylor – KS Department of Transportation, November 1, 2021

See attached comments – Email – Timothy Smith – Tonganoxie Twp. Fire Department, November 1, 2021

See attached comments – Email – Tyler Rebel – Everyg, November 24, 2021

Findings

1. The proposed subdivision is consistent with the zoning districts of RR-2.5 and RR-5 zoning districts.
2. The property is not within a sewer district boundary or is within 660 feet of the incorporated limits of a municipality; therefore, a waiver to the requirement of allowing private septic systems is supported by staff. A private sewage disposal permit may be issued per Leavenworth County Sanitary Code requirements.
3. At time of development, fire hydrants shall be required if necessary infrastructure is available.
4. The proposed subdivision is in accordance with the Comprehensive Plan.

Subdivision Classification

This is classified as a Class “C” Subdivision. According to the Leavenworth County Zoning & Subdivision regulations, a Class “C” Subdivision is any subdivision in which all the lots lie within the Rural Growth Area of Leavenworth County.

Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660’ of the subdivision. (See condition 4.)

Staff Comments



Figure 1 Future Land Use Map



Figure 2 Current Zoning Map

The applicant is requesting the approval of a plat for a five-lot subdivision located on or adjacent to K-16/McLouth Road. The lots range from 6.4 to 34.3 acres, in size. Lot 4 does not comply with the ZSR 50.40.3.d. and will require the approval of an exception that the applicant has requested to allow the property line to deviate from a 90° line coming off of K-16/McLouth Road.

The subdivision proposal does not divide the property at the highest level possible as the Future Land Use Map designates the property as divisible into a higher density due to the property’s proximity to the City of Tonganoxie.

Lots 1 and 2 lie next to K-16/McLouth Road, but will only have access to 234th Street and Sandusky Road, respectively. Lots 4 and 5 will share an access point onto K-16, as required by Kansas Department of Transportation.

STAFF RECOMMENDATION:

Staff recommends approval of Case No. DEV-21-177 & 178, Preliminary and Final Plat for Roman Ridge Estates, with the following conditions:

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
3. The applicant shall adhere to the following memorandums:
 - a. Steven Taylor – KS Department of Transportation, November 1, 2021
 - b. Timothy Smith – Tonganoxie TWP Fire District, November 1, 2021
4. A waiver for the use of private septic systems within this subdivision is granted with this approval.
5. At time of development, fire hydrants shall be required if necessary infrastructure is available.
6. An exception shall be granted to allow the western property line of Lot 4 to deviate from the requirements of ZSR 50.40.3.d.
7. After approval of this subdivision by the Board of County Commission, all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days.

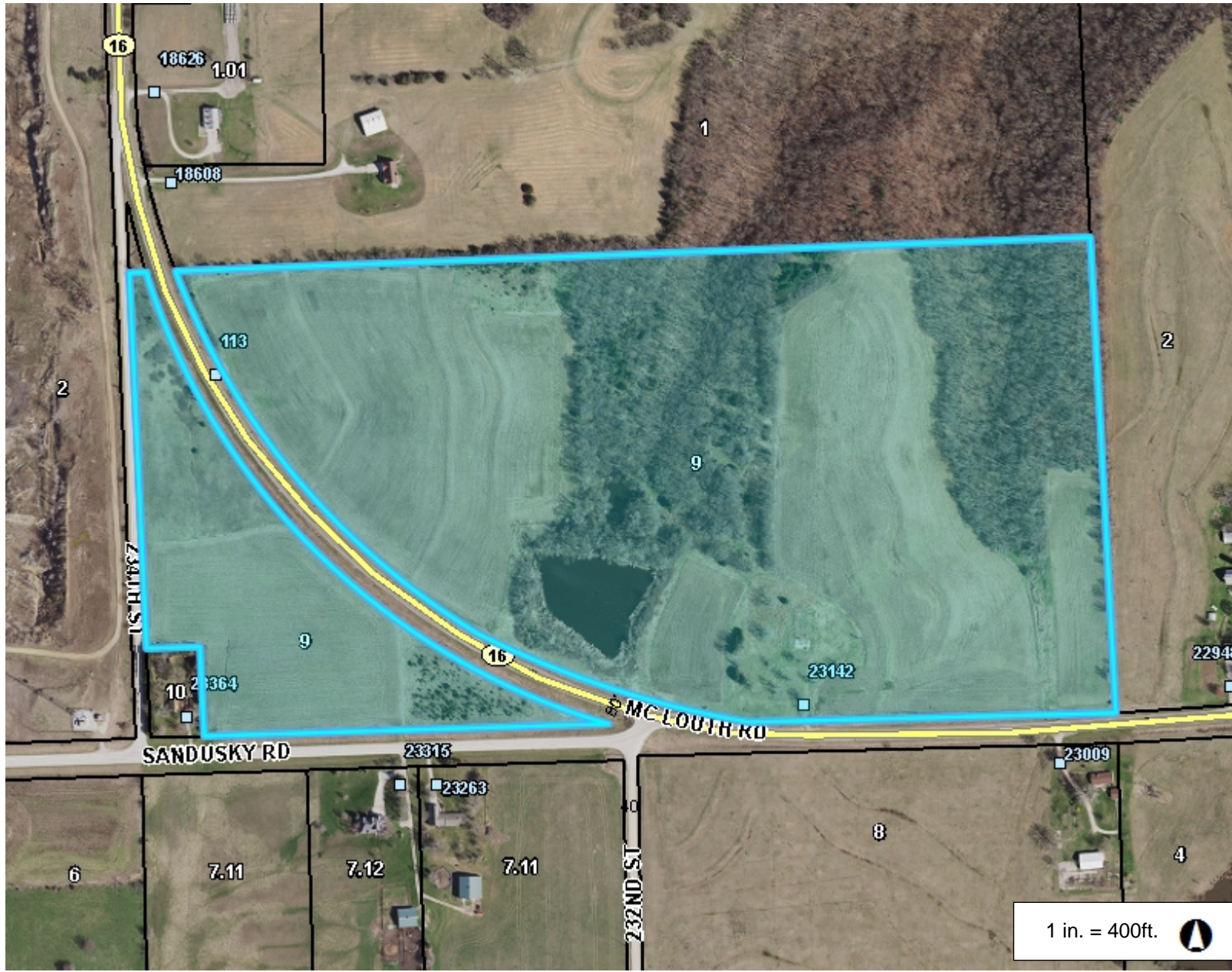
ACTION OPTIONS:

1. Recommend approval of Case No. DEV-21-177 & 178, Preliminary and Final Plat for Roman Ridge Estates, to the Board of County Commission, with or without conditions; or
2. Recommend denial of Case DEV-21-177 & 178, Preliminary and Final Plat for Roman Ridge Estates, to the Board of County Commission for the following reasons; or
3. Continue the hearing to another date, time, and place.

ATTACHMENTS:

Aerial Map
Memorandums
Preliminary and Final Plat

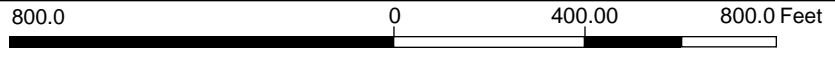
DEV-21-177 & 178 Roman Ridge Estates



Legend

- Address Point
- Parcel Number
- Parcel
- City Limit Line
- Major Road
- 70
- Road
- + Railroad

1 in. = 400ft.



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

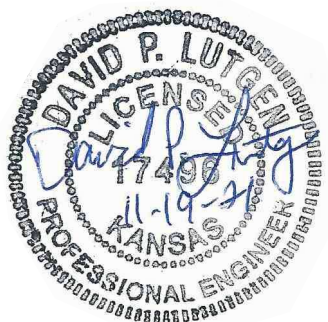
Roman Ridge Estates
Leavenworth County Kansas

Drainage Report

October 21, 2021

November 18, 2021

November 19, 2021



Parcel Information - The 71.5-acre (+/-) parcel is located on K-16 Highway west of Tonganoxie in Leavenworth County KS. The property is zoned both RR 2.5 and RR 5.0.

Existing Conditions – K-16 divides the parcel into two pieces. The tract southwest of the highway is at the north east corner of 234th Street and Sandusky Road. This area is a mixture of pasture and row crops. The remainder of the parcel is located to the north of K-16. Approximately 20 acres of the site is wooded. There are two small ponds that are assumed to remain. There are two entrances and a concrete slab on the property. The remainder of the site is used for row crops. The site can be divided into multiple drainage areas, see exhibit #1.

A composite c value was calculated for the drainage area as shown in the table below. The composite c value is based on the soil type, slopes, and existing land use, see Exhibits #1, #3, #4, and #5.

Existing	Acres in each Drainage Area			
	DA #1	DA #2	DA #3	DA #4
Wooded	0.00	0.00	11.80	8.00
Pasture	3.36	1.50	0.00	0.00
Crops	2.51	2.73	18.29	15.73
Gravel Drive	0.00	0.00	0.01	0.01
Impervious	0.00	0.00	0.00	0.02
Composite c	0.46	0.43	0.50	0.52

$$\text{composite c} = \frac{(\text{Wooded Acres} * \text{c value} + \text{Pasture Acres} * \text{c value} + \text{Crop Acres} * \text{c value} + \text{Gravel Acres} * \text{c value} + \text{Impervious Acres} * \text{c value})}{\text{Total Acres}}$$

Developed Conditions – The proposed development will create five residential building lots. The new homes are assumed to be located as shown on exhibit #2. The developed storm water runoff calculations include 10,000 sq ft of impervious area for the new building lots. This impervious area will account for the driveway, house footprint, and outbuilding. It is assumed that two acres of each lot will be maintained as a grass lawn. A composite c value was calculated for the drainage area as shown in the table below. The composite c value is based on the soil type, slopes, and existing land use, see Exhibits #2, #3, #4, and #5. No construction is anticipated in drainage areas #5 or #6 so those drainage areas were not analyzed. It is assumed that areas that are currently row crops will be used as pasture in the future.

Developed	Acres in each Drainage Area			
	DA #1	DA #2	DA #3	DA #4
Wooded	0.00	0.00	11.80	8.00
Pasture	3.64	2.00	16.06	11.27
Gravel Drive	0.00	0.00	0.01	0.01
Impervious	0.23	0.23	0.23	0.48
Grass	2.00	2.00	2.00	4.00
Composite c	0.33	0.29	0.35	0.34

$$\text{composite c} = \frac{(\text{Wooded Acres} * \text{c value} + \text{Pasture Acres} * \text{c value} + \text{Gravel Acres} * \text{c value} + \text{Impervious Acres} * \text{c value} + \text{Grass Acres} * \text{c value})}{\text{Total Acres}}$$

The storm water runoff for existing and developed conditions is summarized in the following tables. Calculations for the storm water runoff are included with the report.

DA #1

	Q10	Q100
Existing	14.8	26.3
Developed	9.7	17.3
Change	-34%	-34%

DA #2

	Q10	Q100
Existing	9.3	16.6
Developed	5.7	10.2
Change	-38%	-38%

DA #3

	Q10	Q100
Existing	84.5	149.7
Developed	54.2	96.3
Change	-36%	-36%

DA #4

	Q10	Q100
Existing	68.7	121.8
Developed	41.3	73.4
Change	-40%	-40%

Conclusion – The change in land use for this parcel of ground results in a decrease in storm water runoff from all drainage areas.

DA #3
 Land Use - Wooded
 Acres - 11.80
 c Value - 0.35

DA #5
 Land Use - Row Crops
 Acres - 6.12
 c Value - 0.50

DA #3
 Land Use - Row Crops
 Acres - 18.29
 c Value - 0.60

DA #1
 Land Use - Pasture
 Acres - 3.36
 c Value - 0.36

 Land Use - Row Crops
 Acres - 2.51
 c Value - 0.60

DA #6
 Land Use - Row Crops
 Acres - 4.24
 c Value - 0.50

DA #2
 Land Use - Pasture
 Acres - 1.50
 c Value - 0.30

 Land Use - Row Crops
 Acres - 2.73
 c Value - 0.50

Concrete Slab
 0.02 acres
 c Value - 0.90

 Gravel Entrance
 0.01 acres
 c Value - 0.50

 Gravel Entrance
 0.01 acres
 c Value - 0.50

DA #4
 Land Use - Wooded
 Acres - 8.00
 c Value - 0.35

 Land Use - Row Crops
 Acres - 15.73
 c Value - 0.60



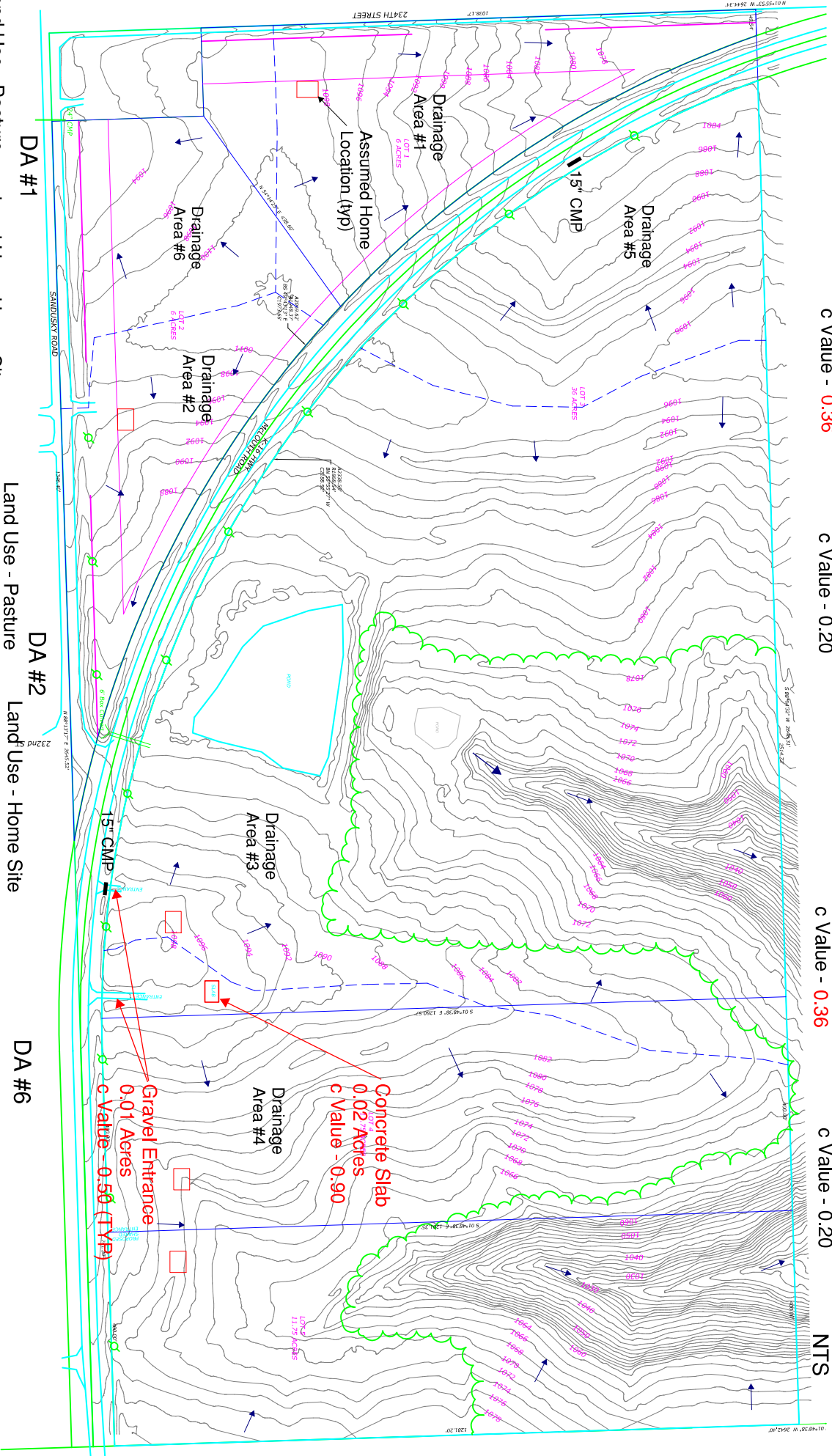
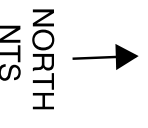
DA #5
 Land Use - Row Crops
 Acres - 6.12
 c Value - 0.50

DA #3
 Land Use - Wooded
 Acres - 11.80
 c Value - 0.35
 Land Use - Pasture
 Acres - 16.06
 c Value - **0.36**

DA #3
 Land Use - Home Site
 Acres - 0.23
 c Value - 0.90
 Land Use - Lawn
 Acres - 2.00
 c Value - 0.20

DA #4
 Land Use - Wooded
 Acres - 8.00
 c Value - 0.35
 Land Use - Pasture
 Acres - 11.27
 c Value - **0.36**

DA #4
 Land Use - Home Site
 Acres - 0.46
 c Value - 0.90
 Land Use - Lawn
 Acres - 4.00
 c Value - 0.20



DA #1
 Land Use - Pasture
 Acres - 3.64
 c Value - 0.36

DA #1
 Land Use - Home Site
 Acres - 0.23
 c Value - 0.90

DA #2
 Land Use - Pasture
 Acres - 2.00
 c Value - 0.30

DA #2
 Land Use - Home Site
 Acres - 0.23
 c Value - 0.90

DA #6
 Land Use - Row Crops
 Acres - 4.24
 c Value - 0.50

DA #1
 Land Use - Lawn
 Acres - 2.00
 c Value - 0.20

DA #2
 Land Use - Lawn
 Acres - 2.00
 c Value - 0.20



Map Unit Symbol	Map Unit Name
7252	Grundy silty clay loam, 1 to 3 percent slopes
7254	Grundy silty clay loam, 3 to 7 percent slopes, eroded
7501	Pawnee clay loam, 4 to 8 percent slopes, eroded
7550	Rosendale-Bendena silty clay loams, 3 to 40 percent slopes
7575	Shelby clay loam, 4 to 8 percent slopes, eroded
9983	Gravel pits and quarries

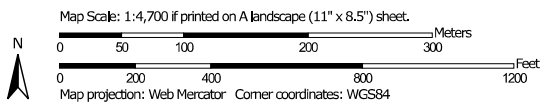


TABLE 1 Values of Runoff Coefficient C

URBAN AREAS:	
Type of drainage area	Runoff coefficient C
Lawns:	0.05 - 0.10
Sandy soil, flat 2%	0.10 - 0.15
Sandy soil, average, 2 - 7%	0.15 - 0.20
Sandy soil, steep, 7%	0.13-0.17
Heavy soil, flat, 2%	0.18 - 0.22
Heavy soil, average, 2 - 7%	0.25 - 0.35
Heavy soil, steep, 7%	
Business:	0.70 - 0.95
Downtown areas Neighborhood areas	0.50.0.70
Residential:	0.30 - 0.50
Single-family areas	0.40 - 0.60
Multi units, detached Multi units,	0.60 - 0.75
attached Suburban	0.25 - 0.40
Apartment dwelling areas	0.50 - 0.70
Industrial:	
Light areas	0.50 - 0.80
Heavy areas	0.60 - 0.90
Parks, cemeteries	0.10 - 0.25
Playgrounds	0.20 - 0.35
Railroad yard areas	0.20 - 0.40
Unimproved areas	0.10 - 0.30
Streets:	0.70 - 0.95
Asphaltic	0.80 - 0.95
Concrete	0.70 - 0.85
Brick	
Drives and walks	0.75 - 0.85
Roofs	0.75 - 0.95

AGRICULTURAL AREAS:

Topography and Vegetation	Runoff Coefficient C Soil Texture		
	Soil Texture		
	Open Sandy Loam	Clay and Silt Loam	Tight Clay
Woodland			
Flat 0 - 5% Slope	0.10	0.30	0.40
Rolling 5 - 10% Slope	0.25	0.35	0.50
Hilly 10 - 30% Slope	0.30	0.50	0.60
Pasture			
Flat	0.10	0.30	0.40
Rolling	0.16	0.36	0.55
Hilly	0.22	0.42	0.60
Cultivated			
Flat	0.30	0.50	0.60
Rolling	0.40	0.60	0.70
Hilly	0.52	0.72	0.82

Source - Natural Resources Conservation Service (NRCS) US Department of Agriculture (USDA) Peak Discharge Course
https://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/stelprdb1083019.pdf

Table 3-1 Runoff Coefficients for Rational Formula

Type of Drainage Area	Runoff Coefficient, C*
Concrete or Asphalt Pavement	0.8 – 0.9
Commercial and Industrial	0.7 – 0.9
Gravel Roadways and Shoulders	0.5 – 0.7
Residential – Urban	0.5 – 0.7
Residential – Suburban	0.3 – 0.5
Undeveloped	0.1 – 0.3
Berms	0.1 – 0.3
Agricultural – Cultivated Fields	0.15 – 0.4
Agricultural – Pastures	0.1 – 0.4
Agricultural – Forested Areas	0.1 – 0.4

For flat slopes or permeable soil, lower values shall be used. For steep slopes or impermeable soil, higher values shall be used. Steep slopes are 2:1 or steeper.

From Michigan State Administrative Rules R 280.9.

Referenced from MDOT Drainage Manual, www.michigan.gov

Drainage Area #1- 10 year

Existing Conditions

Area = 5.87 acres
C= 0.46
L= 950
S= 5.0
K= 1

$$T_i = 1.8(1.1-C)L^{0.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8)$$

5 < T_c < 15

$$T_i = 11.6$$

$$i_{10} = 214/(T_c + 26.7)$$

15 < T_c < 60

$$T_t = 1.58$$

$$T_c = 13.2$$

$$i_{10} = 5.47$$

Q=KCIA

Q= 14.8 cfs

Developed Conditions

Area = 5.87 acres
C= 0.33
L= 950
S= 5.0
K= 1

$$T_i = 1.8(1.1-C)L^{0.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8)$$

5 < T_c < 15

$$T_i = 14.1$$

$$i_{10} = 214/(T_c + 26.7)$$

15 < T_c < 60

$$T_t = 1.58$$

$$T_c = 15.7$$

$$i_{10} = 5.07$$

Q=KCIA

Q= 9.7 cfs

Drainage Area #1 - 100 year

Existing Conditions

Area = 5.87 acres
 C= 0.46
 L= 950
 S= 5.0
 K= 1.25

$$T_i = 1.8(1.1-C)L^{0.5}/S^{1/3}$$

$$L_{max} = 300$$

$$i_{100} = 256/(T_c + 19.8)$$

$$5 < T_c < 15$$

$$T_i = 11.6$$

$$i_{100} = 331/(T_c + 30)$$

$$15 < T_c < 60$$

$$T_t = 1.58$$

$$T_c = 13.2$$

$$i_{100} = 7.76$$

Q=KCIA

$$Q = 26.3 \text{ cfs}$$

Developed Conditions

Area = 5.87 acres
 C= 0.33
 L= 950
 S= 5.0
 K= 1.25

$$T_i = 1.8(1.1-C)L^{0.5}/S^{1/3}$$

$$L_{max} = 300$$

$$i_{100} = 256/(T_c + 19.8)$$

$$5 < T_c < 15$$

$$T_i = 14.1$$

$$i_{100} = 331/(T_c + 30)$$

$$15 < T_c < 60$$

$$T_t = 1.58$$

$$T_c = 15.7$$

$$i_{100} = 7.21$$

Q=KCIA

$$Q = 17.3 \text{ cfs}$$

Drainage Area #2- 10 year

Existing Conditions

Area = 4.23 acres
C= 0.43
L= 1400
S= 4.3
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$$

$$L_{max} = 300$$

$$i_{10} = 175/(T_c + 18.8)$$

$$5 < T_c < 15$$

$$T_i = 12.9$$

$$i_{10} = 214/(T_c + 26.7)$$

$$15 < T_c < 60$$

$$T_t = 2.33$$

$$T_c = 15.2$$

$$i_{10} = 5.15$$

Q=KCIA

$$Q = 9.3 \text{ cfs}$$

Developed Conditions

Area = 4.23 acres
C= 0.29
L= 1400
S= 4.3
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$$

$$L_{max} = 300$$

$$i_{10} = 175/(T_c + 18.8)$$

$$5 < T_c < 15$$

$$T_i = 15.6$$

$$i_{10} = 214/(T_c + 26.7)$$

$$15 < T_c < 60$$

$$T_t = 2.33$$

$$T_c = 18.0$$

$$i_{10} = 4.76$$

Q=KCIA

$$Q = 5.7 \text{ cfs}$$

Drainage Area #2- 100 year

Existing Conditions

Area = 4.23 acres
 C= 0.43
 L= 1400
 S= 4.3
 K= 1.25

$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$ $L_{max} = 300$ $i_{100} = 256/(T_c + 19.8)$ $5 < T_c < 15$
 $T_i = 12.9$ $i_{100} = 331/(T_c + 30)$ $15 < T_c < 60$
 $T_t = 2.33$

$T_c = 15.2$

$i_{100} = 7.32$

Q=KCIA

Q= 16.6 cfs

Developed Conditions

Area = 4.23 acres
 C= 0.29
 L= 1400
 S= 4.3
 K= 1.25

$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$ $L_{max} = 300$ $i_{100} = 256/(T_c + 19.8)$ $5 < T_c < 15$
 $T_i = 15.6$ $i_{100} = 331/(T_c + 30)$ $15 < T_c < 60$
 $T_t = 2.33$

$T_c = 18.0$

$i_{100} = 6.78$

Q=KCIA

Q= 10.2 cfs

Drainage Area #3- 10 year

Existing Conditions

Area = 30.1 acres
 C= 0.50
 L= 1200
 S= 5.6
 K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8)$$

5 < T_c < 15

$$T_i = 10.5$$

$$i_{10} = 214/(T_c + 26.7)$$

15 < T_c < 60

$$T_t = 2.00$$

$$T_c = 12.5$$

$$i_{10} = 5.59$$

$$Q = KCiA$$

$$Q = 84.5 \text{ cfs}$$

Developed Conditions

Area = 30.1 acres
 C= 0.35
 L= 1200
 S= 5.6
 K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8)$$

5 < T_c < 15

$$T_i = 13.2$$

$$i_{10} = 214/(T_c + 26.7)$$

15 < T_c < 60

$$T_t = 2.00$$

$$T_c = 15.2$$

$$i_{10} = 5.15$$

$$Q = KCiA$$

$$Q = 54.2 \text{ cfs}$$

Drainage Area #3 - 100 year

Existing Conditions

Area =	30.1	acres	$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$	$L_{max} = 300$	$i_{100} = 256/(T_c + 19.8)$	$5 < T_c < 15$
C =	0.50		$T_i = 10.5$		$i_{100} = 331/(T_c + 30)$	$15 < T_c < 60$
L =	1200					
S =	5.6					
K =	1.25		$T_t = 2.00$			

$T_c = 12.5$

$i_{100} = 7.93$

$Q = KCiA$

$Q = 149.7 \text{ cfs}$

Developed Conditions

Area =	30.1	acres	$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$	$L_{max} = 300$	$i_{100} = 256/(T_c + 19.8)$	$5 < T_c < 15$
C =	0.35		$T_i = 13.2$		$i_{100} = 331/(T_c + 30)$	$15 < T_c < 60$
L =	1200					
S =	5.6					
K =	1.25		$T_t = 2.00$			

$T_c = 15.2$

$i_{100} = 7.32$

$Q = KCiA$

$Q = 96.3 \text{ cfs}$

Drainage Area #4- 10 year

Existing Conditions

Area = 23.76 acres
 C= 0.52
 L= 1300
 S= 5.6
 K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$$

$$L_{max} = 300$$

$$i_{10} = 175/(T_c + 18.8)$$

$$5 < T_c < 15$$

$$T_i = 10.3$$

$$i_{10} = 214/(T_c + 26.7)$$

$$15 < T_c < 60$$

$$T_t = 2.17$$

$$T_c = 12.4$$

$$i_{10} = 5.61$$

Q=KCIA

$$Q = 68.7 \text{ cfs}$$

Developed Conditions

Area = 23.76 acres
 C= 0.34
 L= 1300
 S= 5.6
 K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$$

$$L_{max} = 300$$

$$i_{10} = 175/(T_c + 18.8)$$

$$5 < T_c < 15$$

$$T_i = 13.3$$

$$i_{10} = 214/(T_c + 26.7)$$

$$15 < T_c < 60$$

$$T_t = 2.17$$

$$T_c = 15.5$$

$$i_{10} = 5.10$$

Q=KCIA

$$Q = 41.3 \text{ cfs}$$

Drainage Area #4 - 100 year

Existing Conditions

Area =	23.76	acres	$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$	$L_{max} = 300$	$i_{100} = 256/(T_c + 19.8)$	$5 < T_c < 15$
C =	0.52		$T_i = 10.3$		$i_{100} = 331/(T_c + 30)$	$15 < T_c < 60$
L =	1300					
S =	5.6					
K =	1.25		$T_t = 2.17$			

$T_c = 12.4$

$i_{100} = 7.95$

Q=KCIA

Q = 121.8 cfs

Developed Conditions

Area =	23.76	acres	$T_i = 1.8(1.1-C)L^{.5}/S^{.1/3}$	$L_{max} = 300$	$i_{100} = 256/(T_c + 19.8)$	$5 < T_c < 15$
C =	0.34		$T_i = 13.3$		$i_{100} = 331/(T_c + 30)$	$15 < T_c < 60$
L =	1300					
S =	5.6					
K =	1.25		$T_t = 2.17$			

$T_c = 15.5$

$i_{100} = 7.25$

Q=KCIA

Q = 73.4 cfs

From: [Steven Taylor \[KDOT\]](#)
Sent: Monday, November 1, 2021 2:38 PM
To: [Gentzler, Joshua](#)
Subject: RE: DEV-21-177 & 178 Review Request of Preliminary/Final Plat for Roman Ridge Estates

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Joshua,

Mr. Robbins as applied for and received a permit(#01-21-000036A) to construct a shared access between lots 4 and 5.

Steve Taylor
Kansas Department of Transportation
Utility Coordinator
District 1 Area 3
650 north K-7 Highway
Bonner Springs, Ks.
913-942-3049

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Sent: Monday, November 1, 2021 12:45 PM
To: Steven Taylor [KDOT] <Steven.Taylor@ks.gov>
Subject: DEV-21-177 & 178 Review Request of Preliminary/Final Plat for Roman Ridge Estates

EXTERNAL: This email originated from outside of the organization. Do not click any links or open any attachments unless you trust the sender and know the content is safe.

The Leavenworth County Department of Planning and Zoning has received a request for a Preliminary and Final Plat for Roman Ridge Estates, located at 23142 Mclouth Road, Tonganoxie, KS 66086.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by End of Business on Friday, November 5th, 2021.

If you have any questions or need additional information, please contact me at (913) 684-0464 or at JGentzler@LeavenworthCounty.gov.

Thank you,

Joshua Gentzler
Planner II
[Planning & Zoning](#)
Leavenworth County
913.684.0464

From: [Anderson, Lauren](#)
Sent: Tuesday, November 23, 2021 10:08 AM
To: [Gentzler, Joshua](#)
Cc: 'Mitch Pleak'
Subject: RE: DEV-21-177 & 178 Roman Ridge Estates - DR

Categories: Approvals

Joshua,

No additional comments on the DR for Roman Ridge.

Lauren

From: Gentzler, Joshua
Sent: Monday, November 22, 2021 8:52 AM
To: Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Subject: RE: DEV-21-177 & 178 Roman Ridge Estates - DR

Lauren,

Attached is the revised Drainage Report.

Joshua Gentzler
[Planning & Zoning](#)

From: Anderson, Lauren
Sent: Friday, November 19, 2021 1:42 PM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>; Mitch Pleak <MPleak@olsson.com>
Cc: Allison, Amy <AAllison@leavenworthcounty.gov>; Sloop, Stephanie <SSloop@leavenworthcounty.gov>
Subject: RE: DEV-21-177 & 178 Roman Ridge Estates - PP, FP, DR

Joshua,

Please see attached for engineering comments. As requested by Amy, I have provided comment to the DR in the attachment (directly on the cover page of the report) rather than in the body of this email.

Lauren

From: Gentzler, Joshua
Sent: Friday, November 19, 2021 11:22 AM
To: Anderson, Lauren <LAnderson@leavenworthcounty.gov>; Mitch Pleak <MPleak@olsson.com>
Subject: RE: DEV-21-177 & 178 Roman Ridge Estates - PP, FP, DR

(As a follow up, these were received yesterday)

Joshua Gentzler
[Planning & Zoning](#)

From: Anderson, Lauren
Sent: Thursday, November 4, 2021 3:46 PM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>; Mitch Pleak <MPleak@olsson.com>
Subject: RE: DEV-21-177 & 178 Roman Ridge Estates

Josh,

I have provided response below. Please let me know if you have any additional questions come in.

Lauren

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Sent: Thursday, November 4, 2021 12:32 PM
To: Mitch Pleak <MPleak@olsson.com>; Anderson, Lauren <LAnderson@leavenworthcounty.gov>
Subject: FW: DEV-21-177 & 178 Roman Ridge Estates

All,

David has questions concerning comments on the Drainage Report.

Joshua Gentzler
[Planning & Zoning](#)

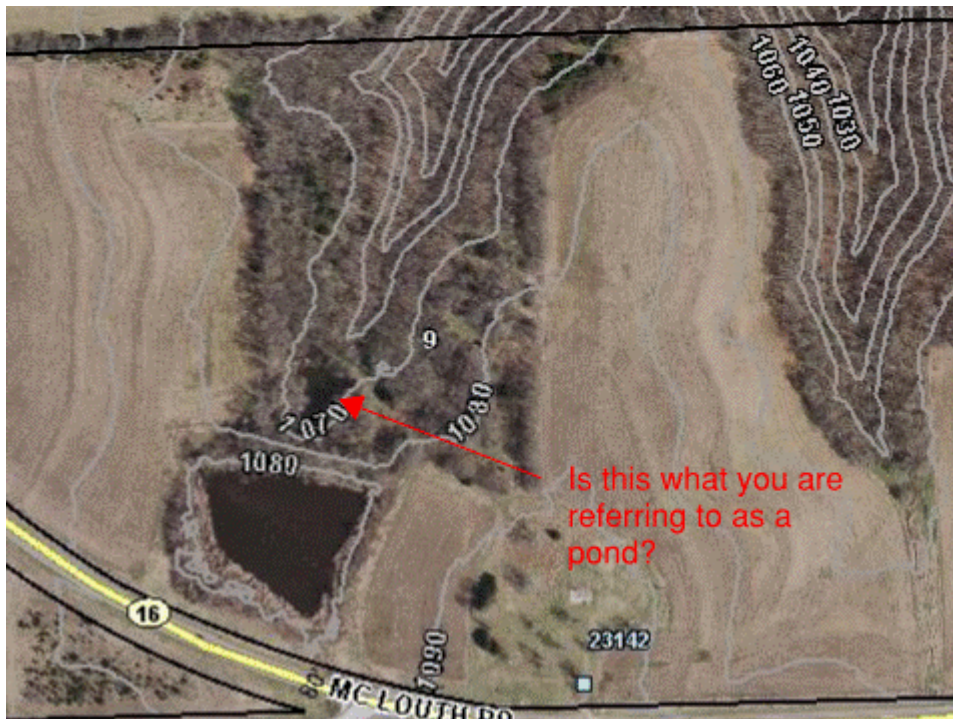
From: David Lutgen <dlutgen72@gmail.com>
Sent: Thursday, November 4, 2021 12:02 PM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Cc: Joe Herring <herringsurveying@outlook.com>
Subject: Re: DEV-21-177 & 178 Roman Ridge Estates

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Joshua,

I have a few comments/questions on the County's review comments -

- Page 2 – Existing conditions narrative – GIS shows 2 ponds. Revise.
Is this what you are referring to as a pond? Contours do not indicate this is a pond. Looks more like a low area at the outlet of the pond. Yes, this appeared to have standing water in all aeriels and it was assumed to be a separate basin/pond, if this is not a pond, please disregard



- Page 2 – Existing Composite C chart and Developed C chart – Break up Wooded, Pasture, and Crop rows to a single c value.

Please clarify this comment. The c value varies based on the slope of the ground. I have shown this way on previous reports with no comment to change. Current chart is not easily reproducible, similar request was made on Brockertt Hill. Previously it was resolved by identifying the locations of slopes associated with different c values on drainage area exhibit. That would work as well.

- Page 2 – Existing composite C chart – DA #1 – GIS indicates +/- 3.36 acre of pasture. Verify. *Please provide a map showing the area you are referring to.*

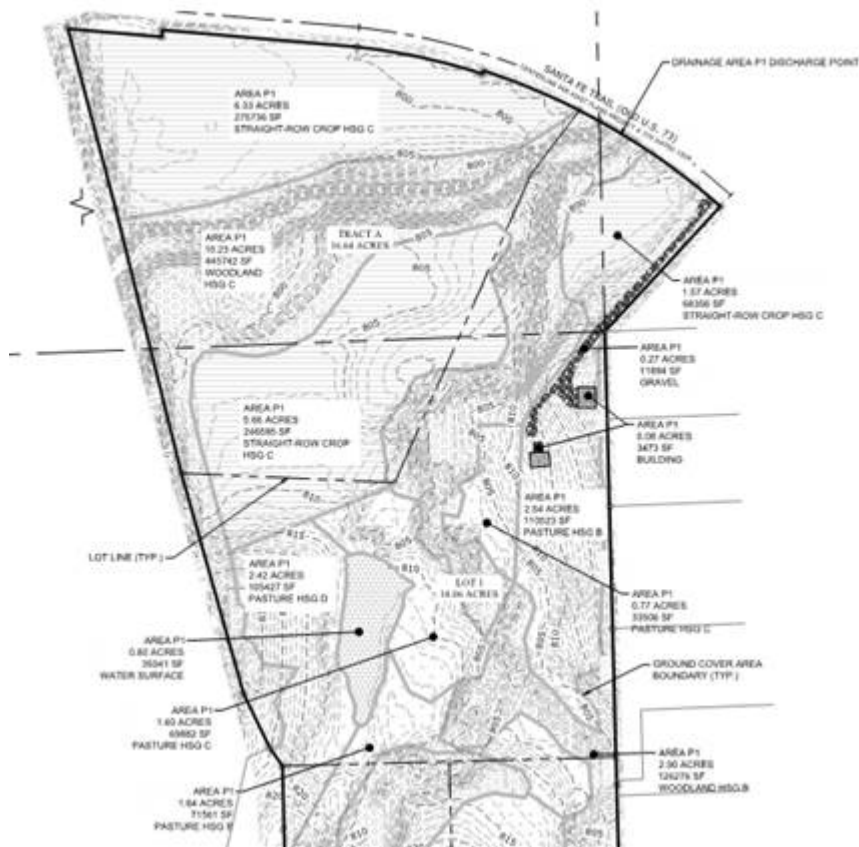
- Page 2 – Existing composite C chart – DA #2 – GIS indicates +/- 1.5 acre of over grown pasture. Verify. *Please provide a map showing the area you are referring to.*



Highlighted areas do

not appear to be used as crop ground

- Drainage Map – Depict the changes of c values per use for wooded, pasture and crops. Please clarify what you are asking for. The provided map is similar to just about every report that I have submitted to LV County. I have never received this comment before. **Identify locations corresponding with different c values on exhibit (Brockert Hill)** The following image is from a drainage report that did this very nicely.



Thanks

David Lutgen

On Thu, Nov 4, 2021 at 8:26 AM Gentzler, Joshua <JGentzler@leavenworthcounty.gov> wrote:

Joe,

I had not.

Dave,

Please address the following comments from Public Works regarding the Drainage Report:

- Change title of report to Roman Ridge Estates.
- Page 2 – Existing conditions narrative – GIS shows 2 ponds. Revise.
- Page 2 – Existing Composite C chart and Developed C chart – Break up Wooded, Pasture, and Crop rows to a single c value.
- Page 2 – Existing composite C chart – DA #1 – GIS indicates +/- 3.36 acre of pasture. Verify.
- Page 2 – Existing composite C chart – DA #2 – GIS indicates +/- 1.5 acre of over grown pasture. Verify.
- Page 2 – DA#3 includes 1 gravel driveway. DA#4 includes 1 gravel driveway and building slab. If measurable, include in the analysis. If not measurable, provide a statement in the narrative.
- Page 2 – Developed conditions narrative – a couple of drainage areas are not analyzed due to no change in the developed vs existing conditions. Provide a statement explaining why some drainage areas were not analyzed within the plat.

- Page 2 – Developed conditions narrative – Provide a statement row crop areas will be pasture in the developed condition as presented in the report.
- Drainage Map – Depict the changes of c values per use for wooded, pasture and crops.
- Drainage Map – Note, a comment has been provided in the preliminary plan regarding the verification of existing driveway culverts along KDOT row. If exists, revise map to include the culverts.

Joshua Gentzler
[Planning & Zoning](#)

From: Joe Herring <herringsurveying@outlook.com>
Sent: Wednesday, November 3, 2021 6:39 PM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>; Allison, Amy <AAllison@leavenworthcounty.gov>
Subject: Re: DEV-21-177 & 178 Roman Ridge Estates

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did you send Dave Lutgen the drainage comments?

Thank you - Joe Herring

J.Herring Inc., dba,Herring Surveying Company
315 N. 5th Street, Leavenworth, KS 66048
913-651-3858 - ROCK CHALK!

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Sent: Wednesday, November 3, 2021 11:44 AM
To: herringsurveying@outlook.com <herringsurveying@outlook.com>
Cc: Allison, Amy <AAllison@leavenworthcounty.gov>
Subject: DEV-21-177 & 178 Roman Ridge Estates

Joe,

Attached are comments on the plats from:

1. Planning & Zoning
2. Public Works
3. Survey
4. Tonganoxie Twp. Fire Department
5. KDOT

Please address the following comments from Public Works regarding the Drainage Report:

- Change title of report to Roman Ridge Estates.
- Page 2 – Existing conditions narrative – GIS shows 2 ponds. Revise.
- Page 2 – Existing Composite C chart and Developed C chart – Break up Wooded, Pasture, and Crop rows to a single c value.
- Page 2 – Existing composite C chart – DA #1 – GIS indicates +/- 3.36 acre of pasture. Verify.
- Page 2 – Existing composite C chart – DA #2 – GIS indicates +/- 1.5 acre of over grown pasture. Verify.
- Page 2 – DA#3 includes 1 gravel driveway. DA#4 includes 1 gravel driveway and building slab. If measurable, include in the analysis. If not measurable, provide a statement in the narrative.
- Page 2 – Developed conditions narrative – a couple of drainage areas are not analyzed due to no change in the developed vs existing conditions. Provide a statement explaining why some drainage areas were not analyzed within the plat.
- Page 2 – Developed conditions narrative – Provide a statement row crop areas will be pasture in the developed condition as presented in the report.
- Drainage Map – Depict the changes of c values per use for wooded, pasture and crops.
- Drainage Map – Note, a comment has been provided in the preliminary plan regarding the verification of existing driveway culverts along KDOT row. If exists, revise map to include the culverts.

Lastly, **provide the LSRR** for this plat.

All revisions are due by End of Business on Wednesday, November 10th, 2021.

Regards,

Joshua Gentzler

Planner II

[Planning & Zoning](#)

Leavenworth County

913.684.0464

From: [Ross Harris](#)
Sent: Monday, October 25, 2021 10:47 AM
To: [Gentzler, Joshua](#)
Subject: FW: [EXTERNAL]DEV-21-177 & 178 Review Request of Preliminary/Final Plat for Roman Ridge Estates
Attachments: 2021.10.22 DEV-21-177 & 178 Application.pdf; 2021.10.22 DEV-21-178 Final Plat.pdf; 2021.10.22 DEV-21-177 Prelim Plat.pdf

Internal Use Only

Everything looks good on my part Josh.

Thanks

Ross Harris
Evergy – Lawrence
785-865-4857

From: Tyler Rebel <Tyler.Rebel@evergy.com>
Sent: Monday, October 25, 2021 10:02 AM
To: Design Group Lawrence Service Center <DesignGroupLawrenceServiceCenter@evergy.com>
Subject: FW: [EXTERNAL]DEV-21-177 & 178 Review Request of Preliminary/Final Plat for Roman Ridge Estates

Internal Use Only

LVCO just lookin for comment – thanks

Tyler Rebel
Distribution Designer
Evergy
tyler.rebel@evergy.com
O: 913.758.2727
evergy.com

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Sent: Monday, October 25, 2021 8:54 AM
To: Tyler Rebel <Tyler.rebel@evergy.com>; 'Timothy Smith' <chief1860@ttrfd.com>; Magaha, Chuck <cmagaha@lvsheriff.org>; Miller, Jamie <JMiller@leavenworthcounty.gov>; Patzwald, Joshua <jpatzwald@lvsheriff.org>; Van Parys, David <DVanParys@leavenworthcounty.gov>
Subject: [EXTERNAL]DEV-21-177 & 178 Review Request of Preliminary/Final Plat for Roman Ridge Estates

****WARNING:** This email originated from an external source outside of Evergy. Think before you click on links or attachments!**

The Leavenworth County Department of Planning and Zoning has received a request for a Preliminary and Final Plat for Roman Ridge Estates, located at 23142 Mclouth Road, Tonganoxie, KS 66086.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by End of Business on Monday, November 1st, 2021.

If you have any questions or need additional information, please contact me at (913) 684-0464 or at JGentzler@LeavenworthCounty.gov.

Thank you,

Joshua Gentzler
Planner II
[Planning & Zoning](#)
Leavenworth County
913.684.0464

ROMAN RIDGE ESTATES

A Minor Subdivision in the Northeast Quarter of Section 7, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

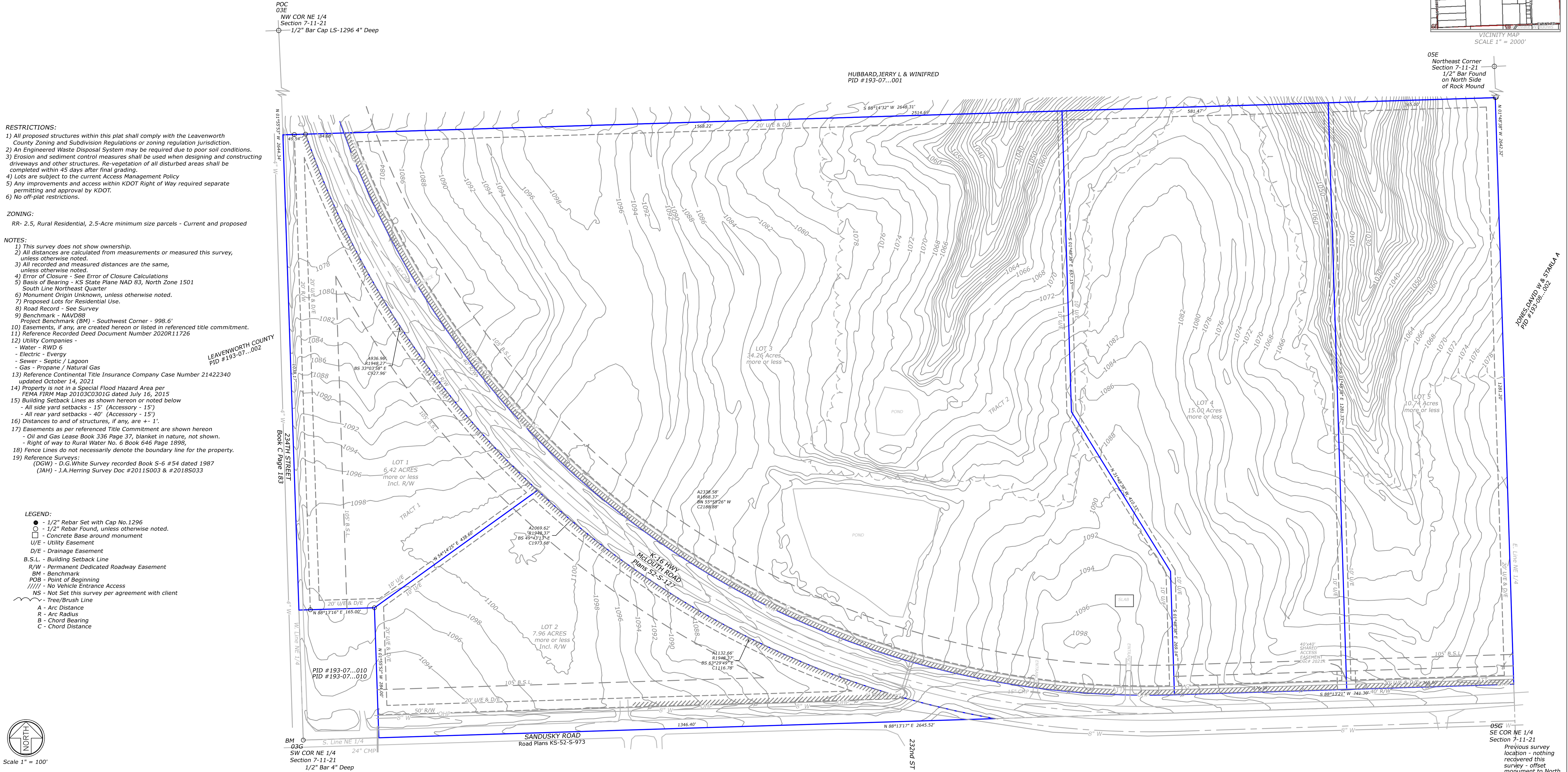
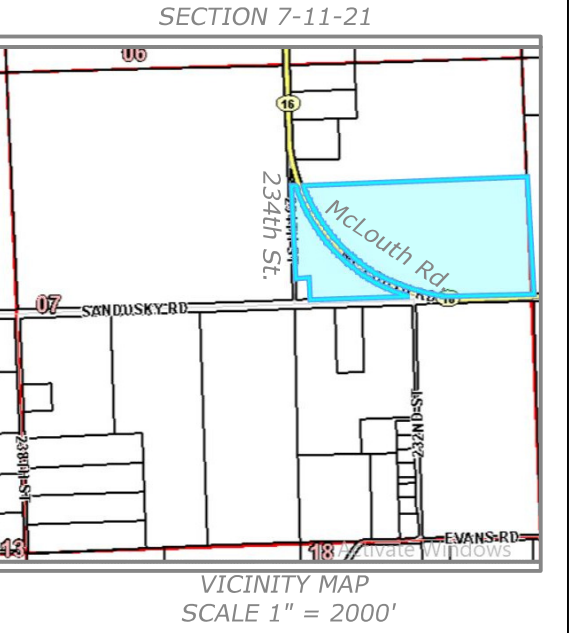
PRELIMINARY PLAT

PREPARED FOR:
Robbins Acquisitions
PO BOX 480
Tonganoxie, KS 66086
PID #193-07-00-00-009

SURVEYOR'S DESCRIPTION:

TRACT 1
A tract of land in the South Half of the Northeast Quarter of Section 7, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas, as written by Joseph A. Herring PS-1296 dated October 22, 2021, more fully described as follows: Beginning at the Southwest corner of said Northeast Quarter; thence North 01 degrees 55'53" West for distance of 284.00 feet along the West line of said Northeast Quarter to the TRUE POINT OF BEGINNING; thence continuing North 01 degrees 55'53" West for a distance of 1038.17 feet along said East line; thence North 88 degrees 14'32" East for a distance of 49.54 feet to the Westerly right of way line of McClouth Road (Kansas Highway 16); thence along a non-tangent curve to the left having a radius of 1948.37 feet and an arc length of 2069.62 feet along said right of way, being subtended by a chord bearing of South 49 degrees 43'13" East and a chord distance of 1973.68 feet, to the South line of said Northeast Quarter; thence South 88 degrees 13'17" West for a distance of 1346.40 feet along the South line of said Northeast Quarter; thence North 01 degrees 55'53" West for a distance of 284.00 feet; thence South 88 degrees 13'17" West for a distance of 165.00 feet to the point of beginning. Together with and subject to covenants, easements, and restrictions of recorded. Said property contains 14.38 Acres, more or less, including road right of ways. Error of Closure - 1 : 981584

TRACT 2
A tract of land in the South Half of the Northeast Quarter of Section 7, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas, as written by Joseph A. Herring PS-1296 dated November 18, 2021, more fully described as follows: Beginning at the Southwest corner of said Northeast Quarter; thence North 01 degrees 55'53" West for a distance of 1322.17 feet along the West line of said Northeast Quarter; thence North 88 degrees 14'32" East for a distance of 133.62 feet to the Easterly right of way line of McClouth Road (Kansas Highway 16) and to the TRUE POINT OF BEGINNING; thence continuing North 88 degrees 14'32" East for a distance of 2514.73 feet to East line of said Northeast Quarter; thence South 01 degrees 48'38" East for a distance of 1281.40 feet along said Northerly right of way line of said McClouth Road; thence South 88 degrees 13'21" West for a distance of 741.30 feet along said right of way; thence along a curve to the right having a radius of 1868.37 feet and an arc length of 2338.58 feet along said right of way, being subtended by a chord bearing of North 55 degrees 55'26" West and a chord distance of 2188.88 feet, to the point of beginning. Together with and subject to covenants, easements, and restrictions of recorded. Said property contains 60.0 Acres, more or less, including road right of ways. Error of Closure - 1 : 983041



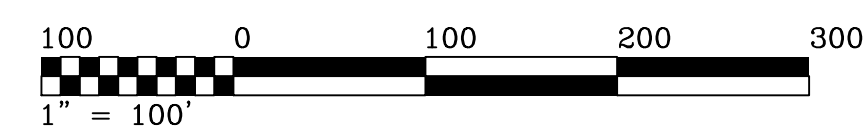
- RESTRICTIONS:**
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
 - 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
 - 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
 - 4) Lots are subject to the current Access Management Policy
 - 5) Any improvements and access within KDOT Right of Way required separate permitting and approval by KDOT.
 - 6) No off-plat restrictions.

ZONING:
RR- 2.5, Rural Residential, 2.5-Acre minimum size parcels - Current and proposed

- NOTES:**
- 1) This survey does not show ownership.
 - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
 - 3) All recorded and measured distances are the same, unless otherwise noted.
 - 4) Error of Closure - See Error of Closure Calculations
 - 5) Basis of Bearing - KS State Plane NAD 83, North Zone 1501 South Line Northeast Quarter
 - 6) Monument Origin Unknown, unless otherwise noted.
 - 7) Proposed Lots for Residential Use.
 - 8) Road Record - See Survey
 - 9) Benchmark - NAVD88
Project Benchmark (BM) - Southwest Corner - 998.6'
 - 10) Easements, if any, are created hereon or listed in referenced title commitment.
 - 11) Reference Recorded Deed Document Number 2020R11726
 - 12) Utility Companies -
- Water - RWD 6
- Electric - Evergy
- Sewer - Septic / Lagoon
- Gas - Propane / Natural Gas
 - 13) Reference Continental Title Insurance Company Case Number 21422340 updated October 14, 2021
 - 14) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 2010C0301G dated July 16, 2015
 - 15) Building Setback Lines as shown hereon or noted below
- All side yard setbacks - 15' (Accessory - 15')
- All rear yard setbacks - 40' (Accessory - 15')
 - 16) Distances to and of structures, if any, are +- 1'.
 - 17) Easements as per referenced Title Commitment are shown hereon
- Oil and Gas Lease Book 336 Page 37, blanket in nature, not shown.
- Right of way to Rural Water No. 6 Book 646 Page 1898,
 - 18) Fence Lines do not necessarily denote the boundary line for the property.
 - 19) Reference Surveys:
(DOW) - D.G.White Survey recorded Book S-6 #54 dated 1987
(JAH) - J.A.Herring Survey Doc #2011S003 & #2018S033

- LEGEND:**
- - 1/2" Rebar Set with Cap No. 1296
 - - 1/2" Rebar Found, unless otherwise noted.
 - - Concrete Base around monument
 - D/E - Utility Easement
 - D/E - Drainage Easement
 - B.S.L. - Building Setback Line
 - R/W - Permanent Dedicated Roadway Easement
 - BM - Benchmark
 - POB - Point of Beginning
 - /// - No Vehicle Entrance Access
 - NS - Not Set this survey per agreement with client
 - - Tree/Brush Line
 - A - Arc Distance
 - R - Arc Radius
 - B - Chord Bearing
 - C - Chord Distance

Job # K-21-1466
October 22, 2021 Rev. Nov. 18, 2021



VAUGHT, JOYCE A; TRUST
PID #193-07...007.11

MILES, VIRGIL E & CHRISTIANNE
PID #193-07...007.12

VAUGHT, JOYCE A; TRUST
PID #193-07...007.11

SOMERS, FLORENCE E
PID #193-07...008

I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of August thru October 2021 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
PS # 1296

ROMAN RIDGE ESTATES

A Minor Subdivision in the Northeast Quarter of Section 7, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

FINAL PLAT

PREPARED FOR:
Robbins Acquisitions
PO BOX 480
Troy, MO 64686
PID #193-07-00-00-009

SURVEYOR'S DESCRIPTION:

TRACT 1
A tract of land in the South Half of the Northeast Quarter of Section 7, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas, as written by Joseph A. Herring PS-1296 dated November 18, 2021, more fully described as follows: Beginning at the Southwest corner of said Northeast Quarter; thence North 01 degrees 55'53" West for distance of 284.00 feet along the West line of said Northeast Quarter to the TRUE POINT OF BEGINNING; thence continuing North 01 degrees 55'53" West for a distance of 1038.17 feet along said East line; thence North 88 degrees 14'32" East for a distance of 49.54 feet to the Westerly right of way line of McLouth Road (Kansas Highway 16); thence along a non-tangent curve to the left having a radius of 1948.37 feet and an arc length of 2069.62 feet along said right of way, being subtended by a chord bearing of South 49 degrees 43'13" East and a chord distance of 1973.66 feet, to the South line of said Northeast Quarter; thence South 88 degrees 13'17" West for a distance of 1346.40 feet along the South line of said Northeast Quarter; thence North 01 degrees 55'53" West for a distance of 284.00 feet; thence South 88 degrees 13'17" West for a distance of 165.00 feet to the point of beginning. -
Together with and subject to covenants, easements, and restrictions of recorded. Said property contains 14.38 Acres, more or less, including road right of ways. Error of Closure - 1 : 981584

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Together with and subject to covenants, easements, and restrictions of recorded. Said property contains 60.0 Acres, more or less, including road right of ways. Error of Closure - 1 : 983041

RESTRICTIONS:

- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
- 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
- 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- 4) Lots are subject to the current Access Management Policy. Lot 4 and 5 have a shared access per KDOT Permit #01-21-000036A Access and Maintenance to be equally shared by Owners of said Lots.
- 5) Any improvements and access within KDOT Right of Way required separate permitting and approval by KDOT.
- 6) No off-plat restrictions.

ZONING:

RR- 2.5 and 5, Rural Residential

NOTES:

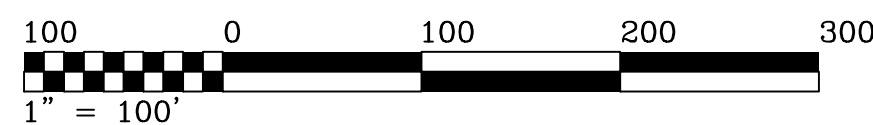
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- 5) Basis of Bearing - KS State Plane NAD 83, North Zone 1501
- 6) West Line Northeast Quarter
- 7) Monument Origin Unknown, unless otherwise noted.
- 8) Proposed Lots for Residential Use.
- 9) Road Record - See Survey
- 10) Benchmark - NAVD88
- 11) Project Benchmark (BM) - Southwest Corner - 998.6'
- 12) Easements, if any, are created hereon or listed in referenced title commitment.
- 13) Reference Recorded Deed Document Number 2020R11726
- 14) Utility Companies -
 - Water - RWD 6
 - Electric - Evergy
 - Sewer - Septic / Lagoon
 - Gas - Propane / Natural Gas
- 15) Reference Continental Title Insurance Company Case Number 21422340 updated October 14, 2021
- 16) Property is not in a Special Flood Hazard Area per FEMA FIR Map 20103C0301G dated July 16, 2015
- 17) Building Setback Lines as shown hereon or noted below
 - All side yard setbacks - 15' (Accessory - 15')
 - All rear yard setbacks - 40' (Accessory - 15')
- 18) Distances to and of structures, if any, are +- 1'.
- 19) Easements as per referenced Title Commitment are shown hereon
 - Oil and Gas Lease Book 336 Page 37, blanket in nature, not shown.
 - Right of way to Rural Water No. 6 Book 646 Page 1898,
 - Fence Lines do not necessarily denote the boundary line for the property.
- 20) Reference Surveys:
 - (DGM) - D.G.White Survey recorded Book S-6 #54 dated 1987
 - (JAH) - J.A.Herring Survey Doc #20115003 & #20185033

LEGEND:

- - 1/2" Rebar Set with Cap No.1296
- - 1/2" Rebar Found, unless otherwise noted.
- - Concrete Base to be Set around Point
- U/E - Utility Easement
- D/E - Drainage Easement
- B.S.L. - Building Setback Line
- R/W - Permanent Dedicated Roadway Easement
- BM - Benchmark
- POB - Point of Beginning
- //// - No Vehicle Entrance Access
- NS - Not Set this survey per agreement with client
- A - Arc Distance
- R - Arc Radius
- B - Chord Bearing
- C - Chord Distance



Scale 1" = 100'
Job # K-21-1466
October 22, 2021 Rev. Nov. 18, 2021



CERTIFICATION AND DECLARATION

The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: ROMAN RIDGE ESTATES.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Streets shown on the accompanying plat and not heretofore dedicated for public use are hereby so dedicated.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF,

We, the undersigned owners of ROMAN RIDGE ESTATES, have set our hands this _____ day of _____, 2021.

Ben Robbins
Robbins Acquisitions, LLC

NOTARY CERTIFICATE:

Be it remembered that on this _____ day of _____, 2021, before me, a notary public in and for said County and State came Ben Robbins, Robbins Acquisitions, LLC, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC

My Commission Expires: _____ (seal)

APPROVALS

We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of ROMAN RIDGE ESTATES this _____ day of _____, 2021.

Secretary
Krystal A. Voth

Chairman
Steven Rosenthal

COUNTY ENGINEER'S APPROVAL:

The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

COUNTY COMMISSION APPROVAL:

We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of ROMAN RIDGE ESTATES, this _____ day of _____, 2021.

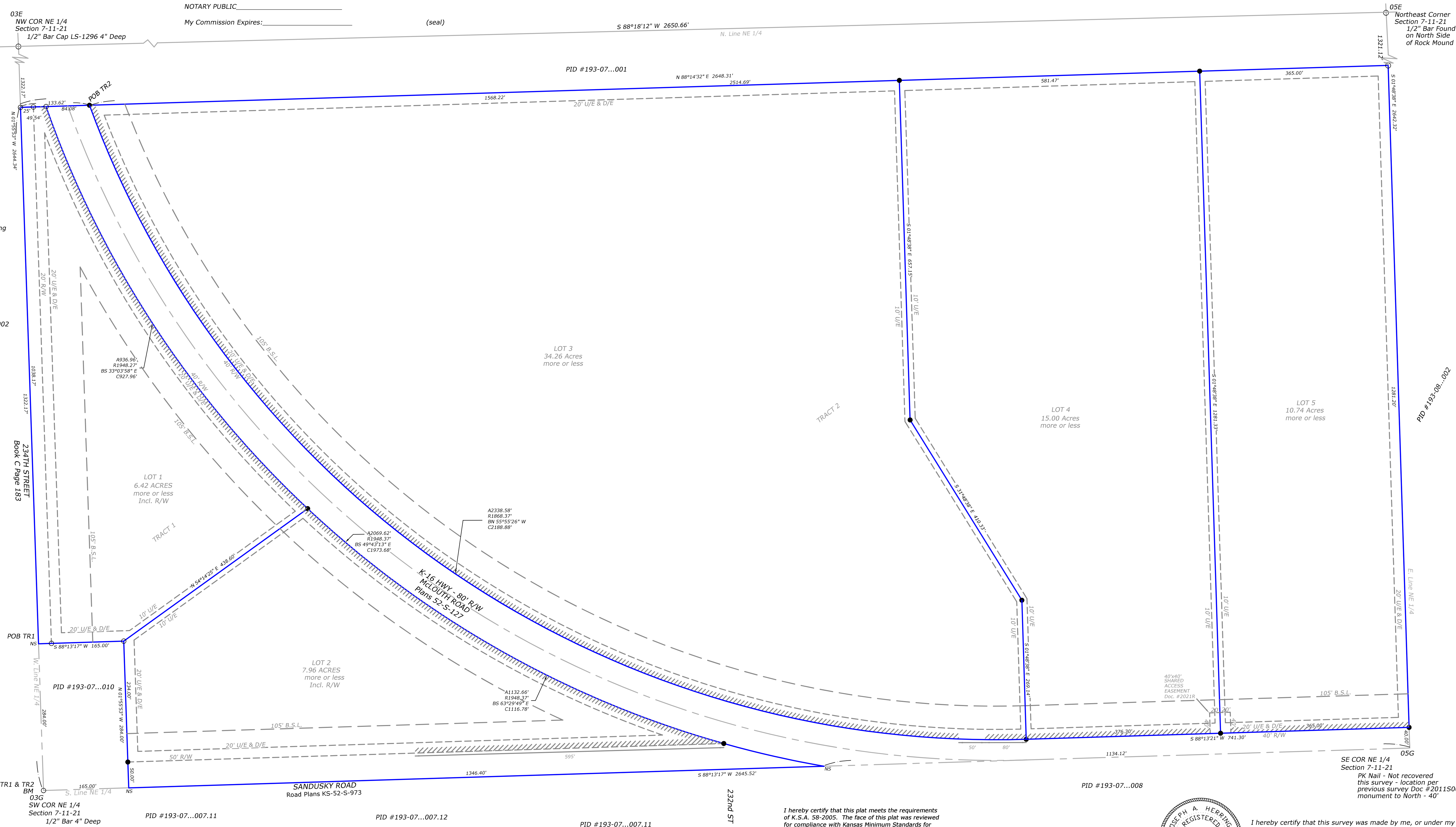
Chairman
Michael W. Smith

County Clerk
Attest: Janet Klasinski

REGISTER OF DEED CERTIFICATE:

Filed for Record as Document No. _____ on this _____ day of _____, 2021 at _____ o'clock _____ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

Register of Deeds - TerriLois G. Mashburn



I hereby certify that this plat meets the requirements of K.S.A. 58-2005. The face of this plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Michael J. Bogina, KS PS-1655
Leavenworth County Survey Reviewer



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of August thru October 2021 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
PS # 1296

*****Renewal without changes*****

Case No. DEV-21-169

Happy Trails Kennel

Special Use Permit – Dog Kennel

Public Hearing Required

Staff Report – Planning Commission

December 8, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** Sarah Kouns
21918 227th Street
Tonganoxie, KS 66086

Legal Description: The North Half of the North Half of the Northwest Quarter of Section 20,
Township 10 South, Range 21 East of the 6th P.M. in Leavenworth Kansas,

Location: 21918 227th Street and approximately ± 2000' North from the intersection of 227th
Street and Garrett Road

Parcel Size: ± 40 acres

Zoning/Land Use: RR-5, Rural Residential 5-acre minimum size parcels

Comprehensive Plan: This parcel is within the Residential Estate land use category.

Parcel ID No.: 144-20-0-00-00-002.02

Planner: Joshua Gentzler

REPORT:

Request

The applicant is requesting a Special Use Permit for

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 6 acres to 113 acres in size.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C0225G July 16, 2015.

Utilities/Services

Sewer: Private septic system

Fire: Tonganoxie Township Fire Department (Tonganoxie Twp. FD)

Water: RWD 9

Electric: Freestate

Access/Streets

The property is accessed by 227th Street, a County local road with a gravel surface ± 24' wide.

Agency Comments

See attached comments – Memo – Kyle Anderson – Planning and Zoning, October 29, 2021

See attached comments – Memo – Mitch Pleak – Public Works, October 26, 2021

See attached comments – Memo – Timothy Smith – Tonganoxie Twp. Fire Department, October 25, 2021

See attached comments – Memo – Rural Water District 9, October 27, 2021

See attached comments – Email – Amanda Tarwater – FreeState, October 27, 2021

Factors to be considered

The following factors are to be considered by the Planning Commission and the Board of County Commission when approving or disapproving this Special Use Permit request:

1. Character of the neighborhood: The character of the neighborhood is rural; primarily rural residences, and agricultural uses.
2. Zoning and uses of nearby property: The surrounding properties are zoned RR-5, Rural Residential 5-acre minimum size parcels. The uses are rural residences and agricultural.
3. Suitability of the property for the uses to which it has been restricted: The property is within an area suited for rural residences and agricultural use. The use is allowed with approval of a Special Use Permit
4. Extent to which removal of the restrictions will detrimentally affect nearby property: The area is not likely be detrimentally affected.
5. Length of time the property has been vacant as zoned: The property is not vacant.
6. Relative gain to economic development, public health, safety and welfare: The proposed use will allow a business to continue on the property, providing opportunity for economic development in a residential area.
7. Conformance to the Comprehensive Plan: The Future Land Use Map indicates this area as Residential Estate
8. Staff recommendation is for the denial of Special Use Permit due to the categorization of the property due to the Future Land Use Map.

History

This is the 1st renewal of the Happy Trails Special Use Permit. This SUP was initially approved by with Resolution 2015-13 on May 28th, 2015 for a 5-year period.

Staff Analysis

LOCATION	
Adjacent Residences	Adjacent residences are rural residences. All properties surrounding the parcel are at least 5 acres in size, or larger. There are three (3) residences on the immediately adjacent parcels.
Adjacent Zoning/Uses	Zoning in the area is RR-5 and are used primarily as rural residences and agricultural uses.
Density	The area is not densely populated.
Nearby City Limits	The city of Tonganoxie is approximately 3 miles to the south of the property.
Initial Growth Management Area	The property is not located within an Urban Growth Management Area.

IMPACT	
Noise Pollution	This use will cause additional noise due to the presence of animals on-site.
Traffic	The use will create additional traffic on an irregular basis as customers and the applicant drop-off/pickup their animals. The employees of the business live on-site. The applicant estimates one commercial vehicle trip per day and two passenger vehicle trips per week are induced by the SUP.
Lighting	The applicant does not have lighting other than security lighting and is not requesting lighting.
Outdoor Storage	The applicant is not requesting outdoor storage.
Parking	The applicant has ample parking space for employees.
Visitors/Employees	Irregular visits from customers.
Waste	The business generates animal waste. This waste is properly disposed of according to KDHE standards.

SITE COMPATABILITY	
Size of Parcel	The parcel is 40 acres in size.
Zoning of Parcel	The parcel is zoned Rural Residential-5
Buildings (Existing & Proposed)	The applicant has a building on the property that is approximately 40'x60'. Tools and equipment for the business are stored in the building.
Setbacks	Existing building meet the required setbacks.
Screening	The property is bordered on the south by a privacy fence. Additionally, there is landscaping providing additional screening.

Staff Comments

The applicant is requesting a renewal of the Happy Trails Kennel SUP. The business utilizes a portion of the 40'x60' building on site as the location of the kennel. The kennel offers 14 5'x5' indoor dog runs, each with a connected 5'x5' outdoor dog run. The kennel also utilizes a fenced 40' by 60' area west of the kennel building as a dog play yard.

According to the applicant the kennel generally maintains less than 14 dogs on-site at one time as they keep one (1) dog in each run. The applicant stated they would like to be able to care for more than 15 as they, at times, can place multiple dogs from the same family within the same dog run.

The County has received no complaints on this property during the initial Special Use Permit period.

STAFF RECOMMENDATION:

The staff recommends denial of Case No. DEV-21-169, Special Use Permit for Happy Trails Kennel. Should the Planning Commission wish to recommend approval of the Special Use Permit to the Board of County Commissioners, Staff offers the following conditions to be included with the approval:

1. The SUP shall be limited to a period of five (5) years.
2. The business hours for customers shall be limited to the of 8 am to 7 pm, Monday through Sunday.
3. The SUP shall be limited to no employees other than family members.
4. No signage is allowed in the right-of-way. No signage is requested with the SUP. All signage shall comply with Article 25, Sign Regulations of the Leavenworth County Zoning and Subdivision Regulations.
5. No on-street parking shall be allowed.
6. The number of dogs shall be limited to twenty (20) dogs.
7. This SUP shall be limited to the Narrative dated October 1st, 2021 submitted with this application.
8. This SUP shall comply with all local, state, and federal rules and regulations that may be applicable. After approval of this SUP by the Board of County Commission all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days.

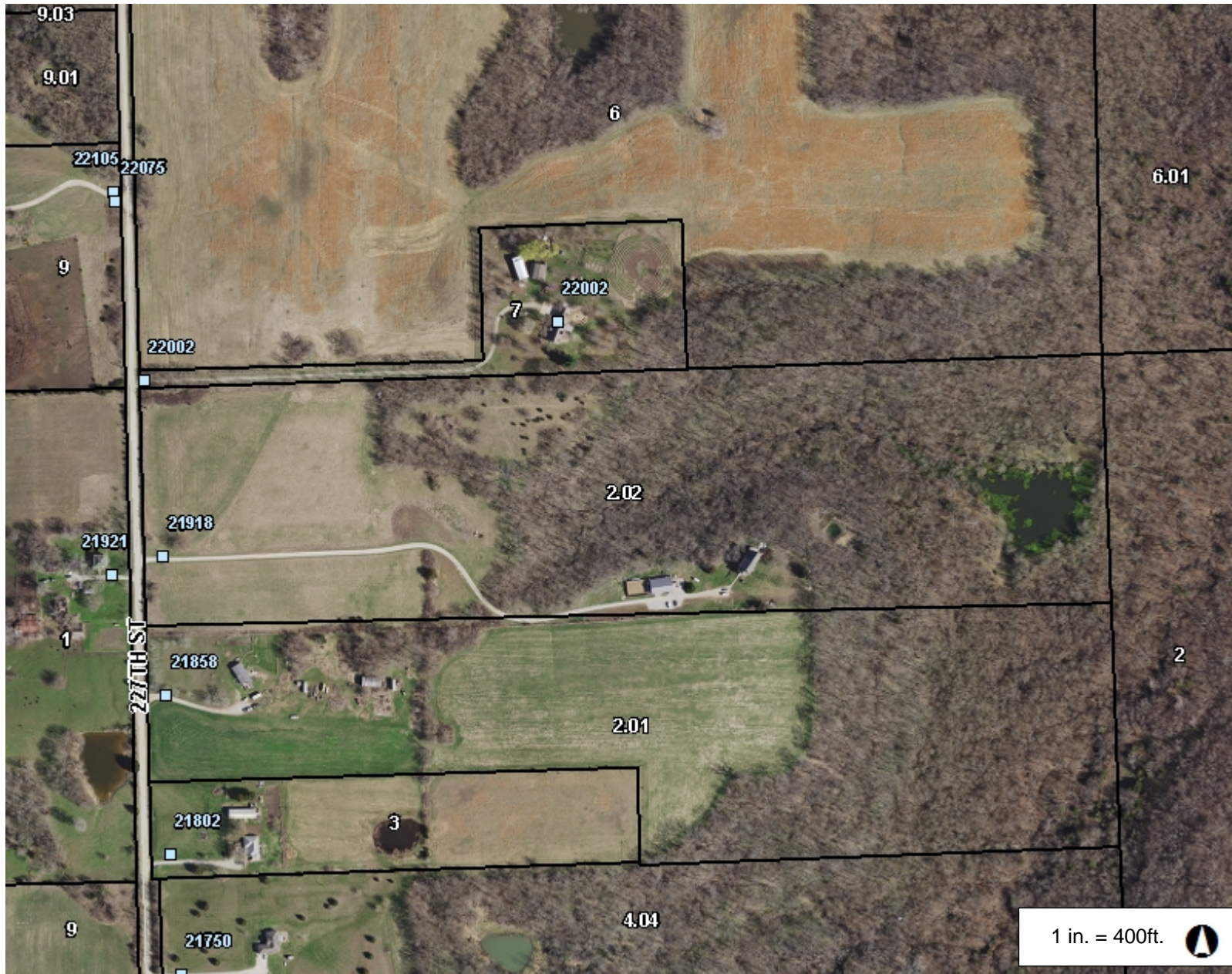
ACTION OPTIONS:

1. Recommend approval of Case No. DEV-21-169, Special Use Permit for Happy Trails Kennel, to the Board of County Commission, with Findings of Fact, and with or without conditions; or
2. Recommend denial of Case No. DEV-21-169, Special Use Permit for Happy Trails Kennel, to the Board of County Commission, with Findings of Fact; or
3. Continue the Public hearing to another date, time, and place.

ATTACHMENTS:

Narrative
Location/Aerial Maps
Memorandums

DEV-21-169 Happy Trails Kennel LLC

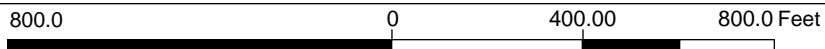


Legend

- Address Point
- ▬ Parcel Number
- ▬ Lot Line
- ▭ Parcel
- ▭ City Limit Line
- ▬ Major Road
- ▬ <all other values>
- ▬ 70
- ▬ Road
- ⊕ Railroad

Notes

1 in. = 400ft.



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

From: [Mitch Pleak](#)
Sent: Tuesday, October 26, 2021 2:31 PM
To: [Gentzler, Joshua](#)
Cc: [Anderson, Lauren](#); [Noll, Bill](#); [019-2831](#)
Subject: RE: DEV-21-169 Special Use Permit Review Request - Happy Trails Kennel

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Joshua,
Lauren and I have reviewed the application with no comments. Traffic generated is less than the maximum traffic generation, per the TIF policy, requiring additional studies.

Sincerely,

Mitch Pleak

From: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Sent: Friday, October 22, 2021 11:43 AM
To: 'Timothy Smith' <chief1860@ttrfd.com>; RWD 9 (Lvrwd9@gmail.com) <Lvrwd9@gmail.com>; Amanda Holloway (Amanda.holloway@freestate.coop) <Amanda.holloway@freestate.coop>; Anderson, Kyle <KAnderson@leavenworthcounty.gov>; Anderson, Lauren <LAnderson@leavenworthcounty.gov>; Magaha, Chuck <cmagaha@lvsheriff.org>; Miller, Jamie <JMiller@leavenworthcounty.gov>; Mitch Pleak <mpleak@olsson.com>; Thorne, Eric <ethorne@lvsheriff.org>; Van Parys, David <DVanParys@leavenworthcounty.gov>
Cc: Allison, Amy <AAllison@leavenworthcounty.gov>; Sloop, Stephanie <SSloop@leavenworthcounty.gov>
Subject: DEV-21-169 Special Use Permit Review Request - Happy Trails Kennel

Good morning,

The Department of Planning and Zoning has received an application for a Special Use Permit for a Happy Trails Kennel, a Dog Kennel located at 21918 227th Street.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by end of business on Friday, October 29th, 2021.

If you have any questions or need additional information, please contact me at (913) 684-0464 or at jgentzler@LeavenworthCounty.Gov

Thank you,

Joshua Gentzler
Planner II
[Planning & Zoning](#)
Leavenworth County
913.684.0464

From: [Amanda Tarwater](#)
Sent: Wednesday, October 27, 2021 9:26 AM
To: [Gentzler, Joshua](#)
Subject: Re: DEV-21-169 Special Use Permit Review Request - Happy Trails Kennel

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

FreeState has no objection to this request.

Amanda Tarwater
Member Accounts Coordinator



1-800-794-1989 | www.freestate.coop

From: "Gentzler, Joshua" <JGentzler@leavenworthcounty.gov>
Date: Friday, October 22, 2021 at 11:43 AM
To: 'Timothy Smith' <chief1860@ttrfd.com>, "RWD 9 (Lvrwd9@gmail.com)" <Lvrwd9@gmail.com>, Amanda Tarwater <amanda.holloway@freestate.coop>, "Anderson, Kyle" <KAnderson@leavenworthcounty.gov>, "Anderson, Lauren" <LAnderson@leavenworthcounty.gov>, "Magaha, Chuck" <cmagaha@lvsheriff.org>, "Miller, Jamie" <JMiller@leavenworthcounty.gov>, Mitch Pleak <MPleak@olsson.com>, "Thorne, Eric" <ethorne@lvsheriff.org>, "Van Parys, David" <DVanParys@leavenworthcounty.gov>
Cc: "Allison, Amy" <AAllison@leavenworthcounty.gov>, "Sloop, Stephanie" <SSloop@leavenworthcounty.gov>
Subject: DEV-21-169 Special Use Permit Review Request - Happy Trails Kennel

Warning: This message originated outside of the FEC organization. Do not click links or open attachments unless you have validated the sender and know the content is safe. <="" span="">

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If you have any questions or need additional information, please contact me at (913) 684-0464 or at Jgentzler@LeavenworthCounty.Gov

Thank you,

Joshua Gentzler
Planner II
[Planning & Zoning](#)
Leavenworth County
913.684.0464

From: [Timothy Smith](#)
Sent: Monday, October 25, 2021 9:36 AM
To: [Gentzler, Joshua](#)
Subject: Re: DEV-21-169 Special Use Permit Review Request - Happy Trails Kennel

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Joshua,

The Tonganoxie Township Fire Department has no issues or concerns with this request.

Thank you,

On Fri, Oct 22, 2021 at 11:42 AM Gentzler, Joshua <JGentzler@leavenworthcounty.gov> wrote:

Good morning,

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Thank you,

Joshua Gentzler

Planner II

[Planning & Zoning](#)

Leavenworth County

913.684.0464

--

Tim Smith, Chief

Tonganoxie Township Rural Fire Department

President Kansas State Association Fire Chiefs

18993 McLouth Rd

Tonganoxie KS 66086

Phone: [913-845-3801](tel:913-845-3801)

Fax: [913-845-3801](tel:913-845-3801)

Cell: [816-392-2468](tel:816-392-2468)

Failure to Prepare

Is

Preparing to Fail

From: [Anderson, Kyle](#)
Sent: Friday, October 29, 2021 12:06 PM
To: [Gentzler, Joshua](#)
Subject: RE: DEV-21-169 Special Use Permit Review Request - Happy Trails Kennel

We have not received any complaints on this property.

Kyle Anderson
Environmental Technician/Code Enforcement
Leavenworth County Planning & Zoning
300 Walnut St. Ste. 212
Leavenworth, KS 66048
913-684-1084

From: Gentzler, Joshua
Sent: Friday, October 22, 2021 11:43 AM
To: 'Timothy Smith' <chief1860@ttrfd.com>; RWD 9 (Lvrwd9@gmail.com) <Lvrwd9@gmail.com>; Amanda Holloway (Amanda.holloway@freestate.coop) <Amanda.holloway@freestate.coop>; Anderson, Kyle <KAnderson@leavenworthcounty.gov>; Anderson, Lauren <LAnderson@leavenworthcounty.gov>; Magaha, Chuck <cmagaha@lvsheriff.org>; Miller, Jamie <JMiller@leavenworthcounty.gov>; Mitch Pleak <MPleak@olsson.com>; Thorne, Eric <ethorne@lvsheriff.org>; Van Parys, David <DVanParys@leavenworthcounty.gov>
Cc: Allison, Amy <AAllison@leavenworthcounty.gov>; Sloop, Stephanie <SSloop@leavenworthcounty.gov>
Subject: DEV-21-169 Special Use Permit Review Request - Happy Trails Kennel

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If you have any questions or need additional information, please contact me at (913) 684-0464 or at Jgentzler@LeavenworthCounty.Gov

Thank you,

Joshua Gentzler
Planner II
[Planning & Zoning](#)
Leavenworth County
913.684.0464

From: [Rural Water District 9 lvrwd9](#)
Sent: Wednesday, October 27, 2021 9:55 AM
To: [Gentzler, Joshua](#)
Subject: Re: DEV-21-169 Special Use Permit Review Request - Happy Trails Kennel

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Mr. Gentzler,

This email is to confirm that LVRWD9 provides water service to a residence on the property. The District can represent that a use that does not vary the amount of water used on the property would not be objectionable by the District. From our review of the statement, it is represented that the new use will not markedly increase water use, thus no issue is presented in this application.

However, please note that the District, as a quasi-municipal entity with its own governing rules and regulations, has certain rules about excessive use of water and uses that exceed normal residential requirements. These are not zoning-related and have no bearing on the property use generally. The District, as always, reserves its right to regulate benefit units in accordance with its rules and regulations, regardless of any grant of a special use permit, and the property owner remains responsible for compliance with those rules regardless of the zoning status.

Thank you and have a great day.

On Fri, Oct 22, 2021 at 11:42 AM Gentzler, Joshua <JGentzler@leavenworthcounty.gov> wrote:

Good morning,

The Department of Planning and Zoning has received an application for a Special Use Permit for a Happy Trails Kennel, a Dog Kennel located at 21918 227th Street.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by end of business on Friday, October 29th, 2021.

If you have any questions or need additional information, please contact me at (913) 684-0464 or at Jgentzler@LeavenworthCounty.Gov

Thank you,

Joshua Gentzler

Planner II

[Planning & Zoning](#)

Leavenworth County

913.684.0464

--

Thanks,



RURAL WATER DISTRICT 9

Karen Armstrong

District Manager

913-845-3571

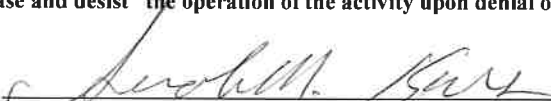
SPECIAL USE PERMIT APPLICATION

Leavenworth County Planning Department
300 Walnut, St., Suite 212
County Courthouse
Leavenworth, Kansas 66048
913-684-0465

APPLICANT/AGENT INFORMATION	OWNER INFORMATION (If different)
NAME <u>Sarah Kouns</u>	NAME _____
ADDRESS <u>21918 227th St.</u>	ADDRESS _____
CITY/ST/ZIP <u>Tonganoxie, KS 66086</u>	CITY/ST/ZIP _____
PHONE <u>913-633-9240</u>	PHONE _____
EMAIL <u>KounsSarah@gmail.com</u>	EMAIL _____
CONTACT PERSON <u>Sarah Kouns</u>	CONTACT PERSON _____

PROPERTY INFORMATION	
PID: _____	Zoning District: _____
Address of property <u>21918 227th St.</u>	Parcel size _____
Current use of the property <u>Residential / business</u>	
Does the owner live on the property? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

I, the undersigned am the (circle one) owner, duly authorized agent, of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for a Special Use Permit as indicated above. I hereby agree to "cease and desist" the operation of the activity upon denial of the permit by the Board of County Commissioners.

Signature  Date 10-1-21

ATTACHMENT A

PROPOSED SPECIAL USE PERMIT INFORMATION

Name of Business Happy Trails Kennel LLC

Existing and Proposed Structures Pole Barn 40x60

Number of structures used for Special Use Permit 1

Will the use require parking? Yes No How many parking spaces are proposed/available? 4

Is the proposed use seasonal? Yes No

If yes, what months will the use be active? 12 through 12
Month Month

Reason for requesting a Special Use Permit: Dog boarding

Estimated Traffic

In this section, you are determining the impact your proposed use will have on the county roadways. A vehicle visiting your site is to be considered two trips because the visitor/employee/user will use the roadways twice. If you are planning to expand the use that may generate additional traffic during the duration of the permit, provide the traffic generation for the full expansion.

How many total Passenger vehicle trips (both entering and exiting) will be generated by the Special Use Permit?

Daily _____ Weekly 2 Monthly _____

If applicable, how many total Commercial (delivery, heavy trucks, equipment, etc.) vehicle trips (both entering and exiting) will be generated by the Special Use Permit?

Daily 1 Weekly _____ Monthly _____

If applicable, describe Seasonal trips not accounted for above: What type (Passenger and Commercial) vehicle trips, how many trips per vehicle type in the seasonal timeframe, and describe the seasonal time frame (months, weeks, or days in a calendar year.

Passenger: Months _____ Weeks _____ Days _____

Commercial: Months _____ Weeks _____ Days _____

When are trips to the site expected to occur (i.e. throughout the day, limited certain hours, etc.)? If applicable, separate occurrences by vehicle type (Passenger, Commercial, Seasonal Passenger, and Seasonal Commercial):

What is the anticipated route(s) from the nearest State Highway to the Site? 227th, West on Garrett RD, South on CR 30, South on R Hwy 16, to 241/10

Special Use Permit Renewal

Describe any change to operations since the SUP was last issued including traffic trips compared to this SUP:

Have you added any buildings since the SUP was last issued? Yes No Any parking? Yes No

Special Use Permit application narrative for Happy Trails Kennel llc

Current use: Currently the property is used as residential property with some agriculture (hay).

Purposed use: We would use the property as residential, agricultural (hay) and also for our dog boarding business.

Hours of operation: 8:00am to 7:00pm

Employees: None

Signs: None

Chemicals: We use a disinfectant to clean the dog runs. We wipe the disinfectant or rinse it off surface. It is/will be stored off the floor on a shelf.

Lubricants/oils/fluids: The only fluid is water.

Sewage disposal: Solid waste is picked up and disposed in a waste bin. Liquid waste is rinsed down the drain or soaked up and disinfected with a paper towel.

Water supply: Rural water district 9. Not much more water will be used beyond typical housing use.

Traffic: No employees, no deliveries. Our dog pickup and delivery van (also family transportation) offers to make a drive once an evening Monday-Friday and once on Saturday morning. No Sunday delivery/pickups. Typical commuting to and from work usage. The delivery and pick up service is utilized by the majority of our clients; however there will be clients that will choose to come to the facility.

Noise caused by the use: Minimal noise. We abide by the noise requirements.

Odors or fumes: None, facility and play area are kept clean of waste.

Accessory buildings used or constructed: An approximate ⁴⁰30x60 pole barn ~~will be constructed~~ on site. ~~50x30 of this will be~~ used as the dog boarding facility.

Outdoor displays/signs: None

Equipment: Minivan, parking will be at residence.

Food service: None.

Alcohol service: None

Dust Control: Proposed facility will sit very far off the road. Actual business will not contribute to dust. Typical cleaning measures will be used.

Emergency/safety: We work closely with Dr Vicki Smith. In the event of a canine medical emergency, she would be contacted. After her hours, we would contact Mission Med Vet. In the event of a weather

emergency, then the dogs would be held securely in the facility. In the event of a fire, the dogs would be removed from the building and placed in crates, then transported to Camp Canine Kennels in Tonganoxie (approx. 4 miles from location). A weather radio, emergency medical kit and fire extinguishers will be placed in the office area and kennel area for ease of access. Our emergency contact numbers are Dr. Smith 913.845.3061, Jenny Worden 913.449.8063, Melissa Dial 913.620.7745 and Ron Swaim 816.835.5809. Evacuation plan with emergency contacts will be displayed in office and kennel areas.

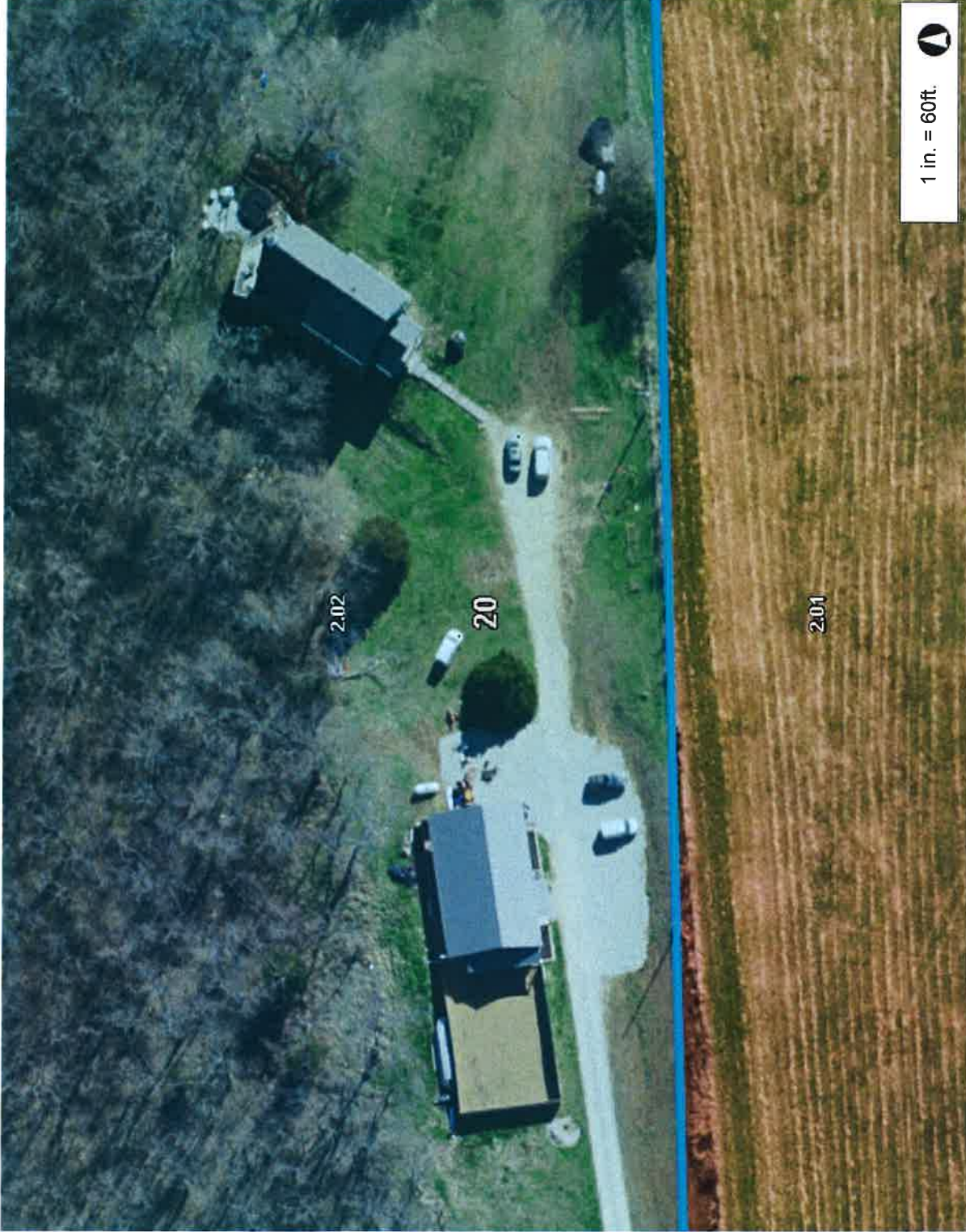
Outdoor storage: Each dog run will have a lockable dog door that will lead to a 5x5 secure concrete patio (welded wire panels). The patios will be surrounded by a play area that will be fenced with privacy fencing on all sides for added noise control and visual appeal.

Parking: There will be enough space for small parking for drop offs or pickups.

Will this be an existing home: ~~Currently the property has a manufactured home located there, we will however plan on building a home in front of where the current home sits. We will use this property as our family's residence.~~

Notes: We have been at our current location (24254 Dempsey RD McLouth KS) for almost 5 years and have never received a complaint from any our neighbors. We hope our history will be considered in this application. We also abide by Department of Agriculture guidelines with yearly inspections, and have maintained a license with them. In addition to this inspection we also have a yearly veterinarian inspection of our facility.

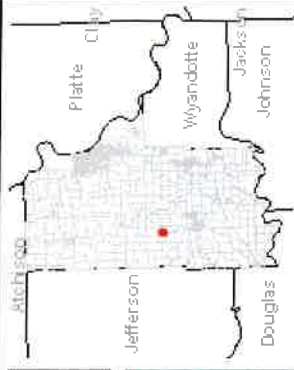
Leavenworth County, KS



1 in. = 60ft.

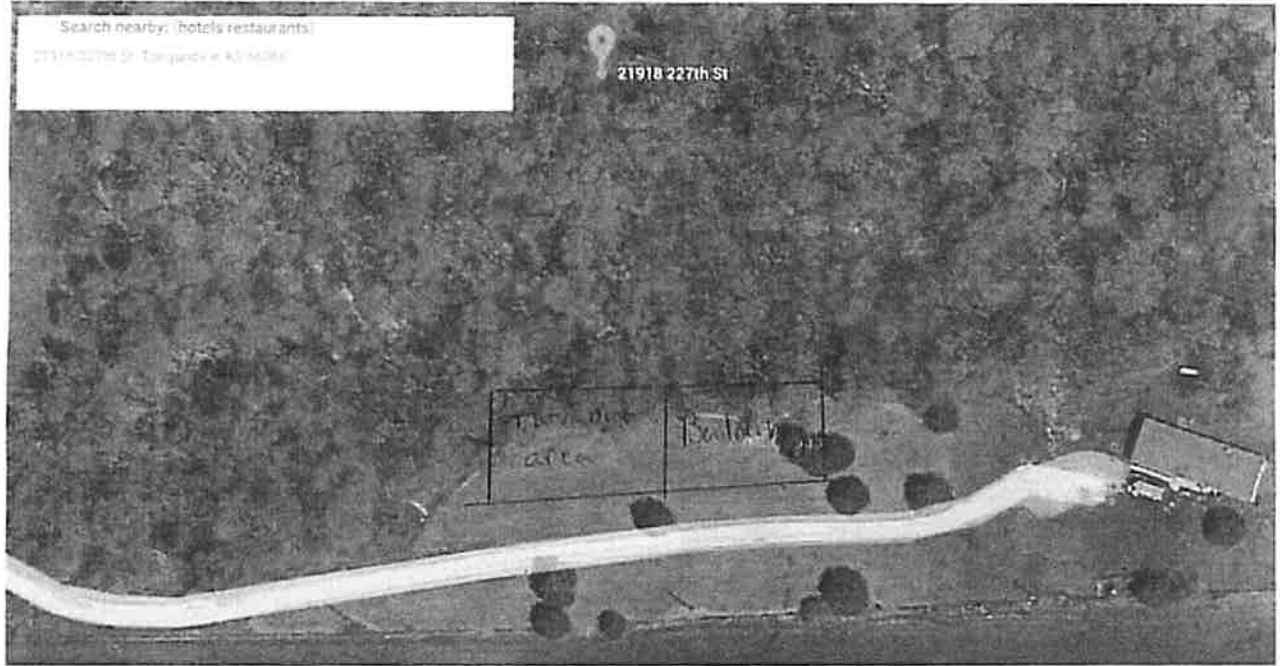


This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.
THIS MAP IS NOT TO BE USED FOR NAVIGATION



- Legend**
- Address Point
 - Parcel Number
 - Lot Line
 - Parcel
 - City Limit Line
 - Major Road
 - all other values
 - 70
 - Road
 - Railroad
 - Section
 - Section Boundaries
 - County Boundary

Notes



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* 2 0 1 3 R 0 6 2 5 5 2 *

Doc #: 2013R06255

STACY R. DRISCOLL/REGISTER OF DEEDS
LEAVENWORTH COUNTY

RECORDED ON

07/01/2013 01:45PM

RECORDING FEE: 12.00

INDEBTEDNESS: 0.00

PAGES: 2

Entered in the transfer record in my office this

1 day of July 2013

Stacy R. Driscoll
County Clerk

STATUTORY WARRANTY DEED

ROGER D. FULLINGTON and LORRAINE F. FULLINGTON, husband and wife

of Leavenworth County, Kansas, conveys and warrants to:

COUNTRY CLUB TRUST COMPANY, N.A., as Trustee for the IRREVOCABLE SPECIAL NEEDS TRUST AGREEMENT FOR THE BENEFIT OF AUSTIN STONE a/k/a The AUSTIN STONE SPECIAL NEEDS TRUST DATED JANUARY 27, 2011

of Leavenworth County, Kansas, his heirs and assigns all of the following described real estate, situated in the County of Leavenworth, State of Kansas, to-wit:

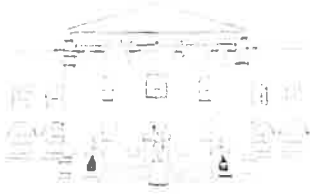
The North Half of the North Half of the Northwest Quarter of Section 20, Township 10 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas, less and except any part thereof taken or used for road or street purposes.

For the sum of one dollar and other good and valuable considerations. Subject to restrictions, reservations, assessments, and easements, if any, now affecting said property.

TO HAVE AND TO HOLD THE SAME, together with all and singular the tenements, hereditaments and appurtenances thereunto belonging, or in anywise appertaining, forever. And Grantor, for itself, its successors and assigns, does hereby covenant, promise and agree, to and with Grantee, that at the delivery of these presents it is lawfully seized in its own right of an absolute and indefeasible estate of inheritance, in fee simple, of and in all and singular the above-granted and described premises, with the appurtenances; that the same are free, clear, discharged and unencumbered of and from all former and other grants, titles, charges, estates, judgments taxes, assessments and encumbrances, of what nature and kind whatsoever, subject to Grantor's reservation set forth herein, and that it will WARRANT AND FOREVER DEFEND the same unto Grantee, his heirs, successors and assigns, against Grantor, its successors and assigns, and all and every person or persons whomsoever lawfully claiming or to claim the same.

Dated this 28th day of June, 2013.

6550 N 121 ✓
PTL



COUNTY OF LEAVENWORTH

Planning & Zoning

300 Walnut, Suite 030
Leavenworth, Kansas 66048-2815

(913) 684-0465

Facsimile (913) 684-0473

March 11, 2015

TO: Sarah Kouns

RE: Status of Parcel
21918 227th Street
Parcel ID No. 144-20-0-00-00-002.02

Ms. Kouns,

Following our research, the Leavenworth County Planning and Zoning Department has determined that this parcel is a compliant parcel and is **Entitled to a Building Permit** according to Article 29, Section 3. All building permit applications submitted and property divisions shall be subject to the standards and requirements of the Leavenworth County Zoning and Subdivision Regulations, Floodplain Management Ordinance, Sanitary Code, and any other county regulations.

If you have any questions, please contact me at (913) 684-0465 or at jogden@leavenworthcounty.org.

Sincerely,

Jillian Ogden
Planner - Planning and Zoning Department - Leavenworth County

Case No. DEV-21-175
Rezoning from RR-5 to RR-2.5
*****Public Hearing Required*****

Staff Report – Planning Commission

December 8, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** Anthony & Kristin Hyde
28181 207th Street
Easton, KS 66020

Applicant Agent: Joe Herring
Herring Surveying Company
315 North 5th Street
Leavenworth, KS 66048

Legal Description: A tract of land in the Northwest Quarter of Section 10, Township 9 South, Range 21 East of the 6th P.M, in Leavenworth County, Kansas.

Location: 28181 207th Street, ± 4.7 miles from Easton

Parcel Size: ± 18.30 acres

Zoning/Land Use: RR-5, Rural Residential 5-acre minimum size parcels

Comprehensive Plan: This parcel is within the Residential (2.5 acres) land use category.

Parcel ID No.: 112-10-0-00-00-004.00

Planner: Amy Allison

REPORT:

Request

The applicant is requesting to rezone a 2.5 acre section of their property from Rural Residential 5-acres to Rural Residential 2.5-acres.

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 4.7 acres to over 140 acres in size.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C0125G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Fire District #1
Water: RWD #5
Electric: FreeState

Access/Streets

The property is accessed by 207th Street. This road is a County Arterial with a paved surface ± 30' wide.

Agency Comments

See attached comments – Email – Kyle Anderson – Planning and Zoning, October 29, 2021
See attached comments – Email – Lauren Anderson – Public Works, October 22, 2021
See attached comments – Email – David Van Parys – County Counselor, October 25, 2021
See attached comments – Email – Tom Goetz - Rural Water District 5, October 31, 2021
See attached comments – Email – Amanda Tarwater – FreeState, October 27, 2021

Factors to be considered

The following factors are to be considered by the Planning Commission and the Board of County Commission when approving or disapproving this Rezoning request:

1. Character of the neighborhood: The character of the neighborhood is rural; agricultural uses and rural residences.
2. Zoning and uses of nearby property: The surrounding properties are zoned RR-5, Rural Residential 5-acre minimum size parcels. The uses are rural residences and agricultural use.
3. Suitability of the property for the uses to which it has been restricted: The applicant is proposing to sell a portion (2.5 acres) in order to build another residence. The property is suitable for residential uses.
4. Extent to which removal of the restrictions will detrimentally affect nearby property: The area will not likely be detrimentally affected.
5. Length of time the property has been vacant as zoned: The property is not vacant.
6. Relative gain to economic development, public health, safety and welfare: The proposed rezoning will allow for another residence to be built.
7. Conformance to the Comprehensive Plan: The Future Land Use Map indicates this area as Residential (2.5 acres).
8. Staff recommendation is for the approval of the rezoning request.

Staff Comments

The applicant is proposing to rezone only 2.5 acres of their property (see Attachments). The property is currently being used a single-family residence with accessory structures. The applicant is proposing to sell off a 2.5-acre parcel so a second single family residence may be built. The Public Works Department will require a shared access for the second home. The request is in conformance with the Comprehensive Plan, therefore staff is generally in support.

STAFF RECOMMENDATION:

The staff recommends approval of Case No.DEV-21-175, Rezoning from RR-5 to RR-2.5:

ACTION OPTIONS:

1. Recommend approval of Case No. DEV-21-175, Rezoning from RR-5 to RR-2.5, to the Board of County Commission, with Findings of Fact, or
2. Recommend denial of Case No. DEV-21-175, Rezoning from RR-5 to RR-2.5, to the Board of County Commission, with Findings of Fact; or
3. Continue the Public hearing to another date, time, and place.

ATTACHMENTS:

Narrative
Location/Aerial Maps
Memorandums

REZONING APPLICATION
 Leavenworth County Planning Department
 300 Walnut, St., Suite 212
 County Courthouse
 Leavenworth, Kansas 66048
 913-684-0465

Office Use Only

Township: _____ Date Received: _____
 Planning Commission Date _____
 Case No. _____ Date Paid _____
 Zoning District _____ Comprehensive Plan Land Use Designation _____

APPLICANT/AGENT INFORMATION	OWNER INFORMATION (If different)
NAME <u>Joe Herring - Herring Surveying Company</u>	NAME <u>Anthony & Kristin Hyde</u>
ADDRESS <u>315 North 5th Street</u>	ADDRESS <u>28181 207th Street</u>
CITY/ST/ZIP <u>Leavenworth, KS 66048</u>	CITY/ST/ZIP <u>Easton, KS 66020</u>
PHONE <u>913-651-3858</u>	PHONE <u>N/A</u>
EMAIL <u>herringsurveying@outlook.com</u>	EMAIL <u>N/A</u>
CONTACT PERSON <u>Joe</u>	CONTACT PERSON <u>N/A</u>

PROPOSED USE INFORMATION

Proposed Land Use Rural Residential

Current Zoning RR-5 Requested Zoning RR-2.5

Reason for Requesting Rezoning Match Current Comp Plan and have ability to sell off smallest possible tract from property.

PROPERTY INFORMATION

Address of Property 28181 207th Street

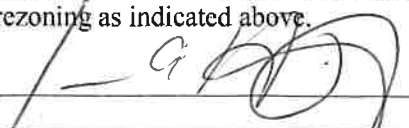
Parcel Size 19 Acres

Current use of the property Rural Residential & AG

Present Improvements or structures House with Outbuildings

PID 112-10-0-00-00-004

I, the undersigned am the *(owner)*, *(duly authorized agent)*, *(Circle One)* of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for rezoning as indicated above.

Signature  Date October 21, 2021

ATTACHMENT A

AFFIDAVIT

Authorization of Contractors or Individuals to Act as Agents of a Landowner
COUNTY OF LEAVENWORTH
STATE OF KANSAS

We/I Anthony S. Hyde and Kristin A. Hyde

Being dully sworn, dispose and say that we/I are the owner(s) of said property located at - 28181 207th St Eastern Ks 66020, and that we authorize the following people or firms to act in our interest with the Leavenworth County Planning and Zoning Department for a period of one calendar year. Additionally, all statements herein contained in the information herewith submitted are in all respects true and correct to the best of our knowledge and belief.

Authorized Agents (full name, address & telephone number)

1) Joseph A. Herring – Herring Surveying Company 315 N. 5th Street, Leavenworth, KS 66048, 913-651-3858

2) Signed and entered this 8 day of September, 2021.

Anthony S. Hyde and Kristin A. Hyde 28181 207th St Eastern Ks 66020
Print Name, Address, Telephone 913-306-2256

[Signature] Kristin A. Hyde
Signature

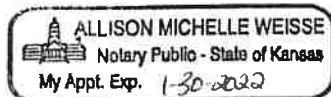
STATE OF KANSAS)
) SS
COUNTY OF LEAVENWORTH)

Be it remembered that on this 8 day of September 2021 before me, a notary public in and for said County and State came Anthony S. Hyde and Kristin A. Hyde to me personally known to be the same persons who executed the forgoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC Allison Michelle Weisse

My Commission Expires: 1-30-2022

(seal)



* 2 0 1 3 R 0 7 6 6 2 *
Doc #: 2013R07666
STACY R. DRISCOLL/REGISTER OF DEEDS
LEAVENWORTH COUNTY
RECORDED ON
08/08/2013 11:45AM
RECORDING FEE: 12.00
INDEBTEDNESS: 0.00
PAGES: 2

Entered in the transfer record in my office this
8 day of Aug, 2013
Stacy R. Driscoll
County Clerk

QUIT CLAIM DEED
Joint Tenancy

Deanna Joan Hyde, a single person,

conveys and quitclaims to

Anthony S. Hyde and Kristin A. Hyde, husband and wife,

as joint tenants with the right of survivorship and not as tenants in common,

all the following described REAL ESTATE in the County of LEAVENWORTH,
and the State of KANSAS, to-wit:

A tract of land in the East 1/2 of the Northwest 1/4 of Section 10,
Township 9, Range 21 East of the 6th P.M., described as follows:
Starting at a point, said point being the center of Section 10,
Township 9, Range 21; thence West 1320 feet to a point; thence North
2330 feet to a point; thence East 1323.25 feet to a point; thence South
2290 feet to the point of beginning, less any part thereof taken or used
for road purposes, in Leavenworth County, Kansas.

LESS

A tract of land in the East 1/2 of the Northwest 1/4 of Section 10,
Township 9 South, Range 21 East in Leavenworth County, Kansas,
described as: Beginning at the Southeast corner of said Northwest
1/4; thence North 00° East, 329.75 feet along the East line of said
Northwest 1/4; thence North 90° West, 1321.176 feet; thence South
00°17'51" West, 337.85 feet to the South line of said Northwest 1/4;
thence North 89°39'00" East, 1322.95 feet to the point of beginning,
including the road right of way.

LESS

A tract of land in the East 1/2 of the Northwest 1/4 of Section 10,
Township 9 South, Range 21 East in Leavenworth County, Kansas:
Beginning at a point 329.75 feet North 00° East from the Southeast
corner of said Northwest 1/4; thence North 00° East 330.00 feet along
the East line of said Northwest 1/4; thence North 90° West 1319.46
feet; thence South 00°17'51" West 330.00 feet; thence South 90° East
1321.17 feet to the point of beginning, including road right of way. All
in Leavenworth County, Kansas.

LESS

A tract of land in the East 1/2 of the Northwest 1/4 of Section 10,
Township 9 South, Range 21 East in Leavenworth County, Kansas:
Beginning at a point 350.00 feet South 00° East from the Northeast
corner of said Northwest 1/4; thence North 88°56'51" West 770.00 feet;
thence South 00° East 590.96 feet; thence South 90° East 769.64 feet
to the East line of said Northwest 1/4; thence North 00° East 576.81
feet to the point of beginning. Contains 10.318 acres including road
right-of-way.

KSTLV 12V

LESS

A tract of land in the East 1/2 of the Northwest 1/4 of Section 10, Township 9 South, Range 21 East in Leavenworth County, Kansas: Beginning at a point 926.81 feet South 00° East from the Northeast corner of said Northwest 1/4; thence North 90° West 769.64 feet; thence North 00° East 590.96 feet; thence North 88°56'51" West 541.28 feet; thence South 00°17'51" West 1662.36 feet; thence South 90° East 549.82 feet; thence North 00° East 1081.44 feet; thence North 90° East 769.64 feet to the east line of Northwest 1/4; thence North 00° East 30.00 feet to the point of beginning, including road right of way.

for the sum of one dollar and other good and valuable consideration.

EXCEPT AND SUBJECT TO: Easements, restrictions and assessments of record, and all the taxes and assessments that may be levied, imposed or become payable hereafter.

No Real Estate Validation Questionnaire per KSA 1993 Supp. 79-1437e as amended (3)

Document prepared as an accommodation with no search of the records.


Dated this 8th day of August, 2013


Deanna Joan Hyde

STATE OF KANSAS, COUNTY OF LEAVENWORTH, SS:

The foregoing instrument was acknowledged before me this 8th day of August, 2013, by Deanna Joan Hyde, a single person.





Notary Public
My appointment expires: 10/13/14

Tony Hyde Rezone

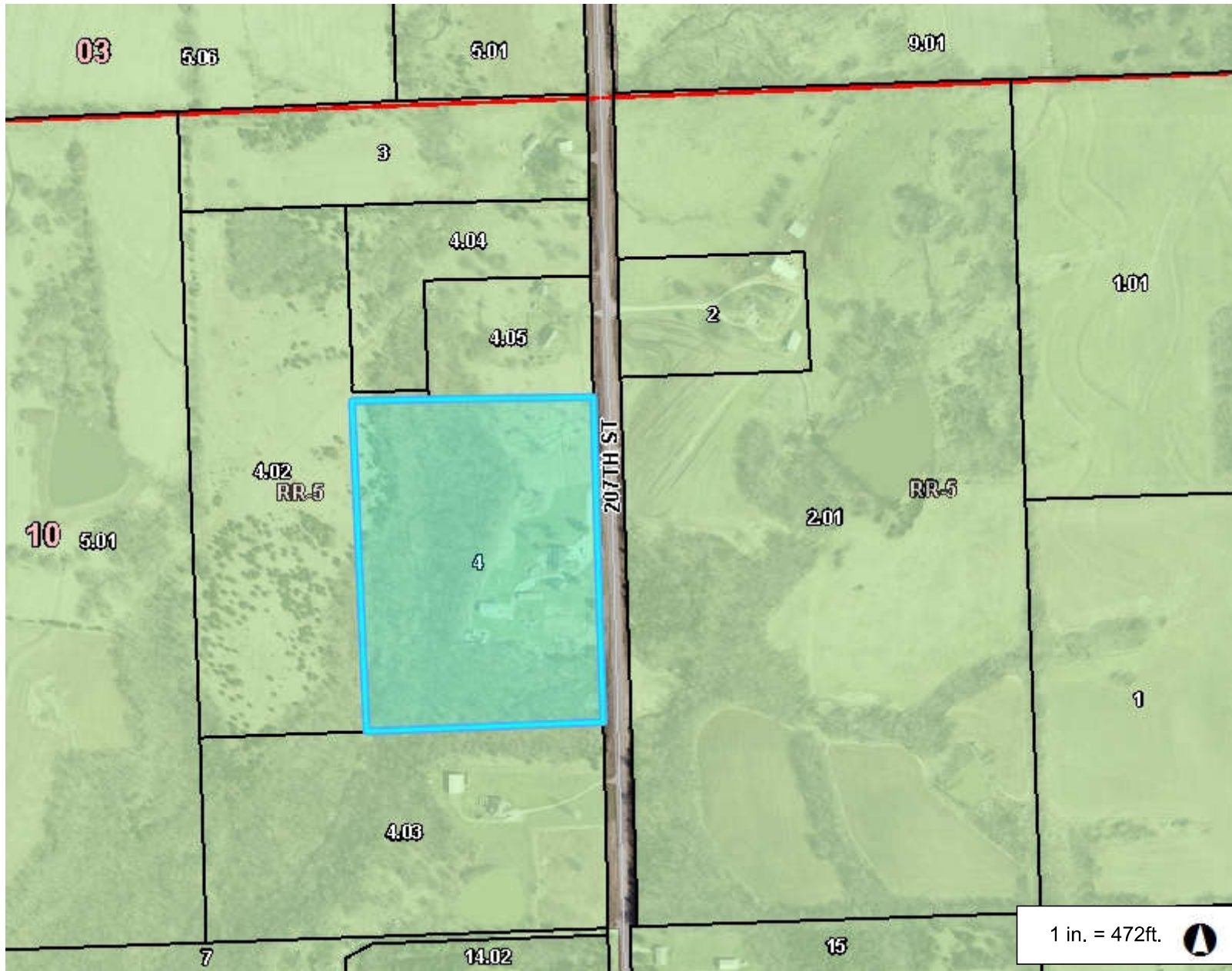
REZONE DESCRIPTION:

A tract of land in the Northwest Quarter of Section 10, Township 9 South, Range 21 East of the 6th P.M., as written by Joseph A. Herring PS-1296 on November 9, 2021, Leavenworth County, Kansas, more fully described as follows: Commencing at the Northeast corner of said Northwest Quarter; thence South 01 degrees 48'36" East for a distance of 956.82 feet along the East line of said Northwest Quarter to the TRUE POINT OF BEGINNING; thence continuing South 01 degrees 48'36" East for a distance of 265.00 feet along said East line; thence South 88 degrees 11'24" West for a distance of 415.00 feet; thence North 01 degrees 48'36" West for a distance of 265.00 feet; thence North 88 degrees 11'24" East for a distance of 415.00 feet to the point of beginning.

Together with and subject to covenants, easements, and restrictions of record.

Said property contains 2.52 acres, more or less, including road right of way.

DEV-21-175 Hyde Rezoning



Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
 - <all other values>
 - 70
- Road
- Railroad
- Airstrip
- Section
- Section Boundaries
- County Boundary
- Zoning
 - B-1
 - B-2
 - B-3
 - I-1
 - I-2
 - I-3
 - MXD
 - PC
 - PI
 - PR-1
 - PR-2
 - PR-3
 - PUD

Notes

943.5 0 471.77 943.5 Feet

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Allison, Amy

From: Gentzler, Joshua
Sent: Monday, November 1, 2021 9:38 AM
To: Allison, Amy
Subject: FW: DEV-21-175 Rezoning Review Request - 28181 207th Street

Joshua Gentzler
[Planning & Zoning](#)

From: Anderson, Kyle
Sent: Friday, October 29, 2021 12:04 PM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Subject: RE: DEV-21-175 Rezoning Review Request - 28181 207th Street

We have not received any complaints on this property.

Kyle Anderson
Environmental Technician/Code Enforcement
Leavenworth County Planning & Zoning
300 Walnut St. Ste. 212
Leavenworth, KS 66048
913-684-1084

From: Gentzler, Joshua
Sent: Friday, October 22, 2021 11:53 AM
To: 'Mike Stackhouse' <firedistrict1@fd1lv.org>; 'tmgoetz@stjoewireless.com' <tmgoetz@stjoewireless.com>; Amanda Holloway (Amanda.holloway@freestate.coop) <Amanda.holloway@freestate.coop>; Anderson, Kyle <KAnderson@leavenworthcounty.gov>; Anderson, Lauren <LAnderson@leavenworthcounty.gov>; Magaha, Chuck <cmagaha@lvsheriff.org>; Miller, Jamie <JMiller@leavenworthcounty.gov>; Mitch Pleak <MPleak@olsson.com>; Thorne, Eric <ethorne@lvsheriff.org>; Van Parys, David <DVanParys@leavenworthcounty.gov>
Cc: Sloop, Stephanie <ssloop@leavenworthcounty.gov>; Allison, Amy <AAllison@leavenworthcounty.gov>
Subject: DEV-21-175 Rezoning Review Request - 28181 207th Street

Good morning,

The Department of Planning and Zoning has received an application for a Rezoning regarding a property at 28181 207th Street, Easton, KS 66020.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by end of business on Friday, October 29th.

If you have any questions or need additional information, please contact me at (913) 684-0464 or at JGentzler@LeavenworthCounty.gov.

Thank you,

Joshua Gentzler
Planner II
[Planning & Zoning](#)
Leavenworth County
913.684.0464

Allison, Amy

From: Anderson, Lauren
Sent: Friday, October 22, 2021 3:54 PM
To: Gentzler, Joshua
Cc: Sloop, Stephanie; Allison, Amy; Noll, Bill
Subject: RE: DEV-21-175 Rezoning Review Request - 28181 207th Street

Public Works has the following comment for the rezoning request:

1. The requested rezoning meets the future land use map from the comprehensive plan.
2. 207th Street is a low volume arterial roadway (minor arterial) with less than 1000 vpd. Roadways of this classification have a required driveway spacing of 330LF, based upon current the access management policy. The current property has a frontage of approximately 1040LF, allowing for a maximum of 3 access point along this property. Current existing driveways on either side of this parcel do not create any further restructuring or reduction to the available points of access. It is likely that Public Works would require the use of shared driveways, dependent upon the layout of any future property division.
3. Speaking to the specific understanding of the intent of the rezoning from conversations during the preapplication meeting with Joe Herring – If the existing driveway is to remain and the 2.5 acres is to be removed/rezoned from the northeast corner of the property, a shared access driveway will be required at time of division.

Thanks,
Lauren

From: Gentzler, Joshua
Sent: Friday, October 22, 2021 11:53 AM
To: 'Mike Stackhouse' <firedistrict1@fd1lv.org>; 'tmgoetz@stjoewireless.com' <tmgoetz@stjoewireless.com>; Amanda Holloway (Amanda.holloway@freestate.coop) <Amanda.holloway@freestate.coop>; Anderson, Kyle <KAnderson@leavenworthcounty.gov>; Anderson, Lauren <LAnderson@leavenworthcounty.gov>; Magaha, Chuck <cmagaha@lvsheriff.org>; Miller, Jamie <JMiller@leavenworthcounty.gov>; Mitch Pleak <MPleak@olsson.com>; Thorne, Eric <ethorne@lvsheriff.org>; Van Parys, David <DVanParys@leavenworthcounty.gov>
Cc: Sloop, Stephanie <SSloop@leavenworthcounty.gov>; Allison, Amy <AAllison@leavenworthcounty.gov>
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Thank you,

Joshua Gentzler
Planner II
[Planning & Zoning](#)
Leavenworth County

913.684.0464

Allison, Amy

From: Gentzler, Joshua
Sent: Monday, November 1, 2021 9:38 AM
To: Allison, Amy
Subject: FW: DEV-21-175 Rezoning Review Request - 28181 207th Street

Joshua Gentzler
[Planning & Zoning](#)

From: Van Parys, David
Sent: Monday, October 25, 2021 9:18 AM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Subject: RE: DEV-21-175 Rezoning Review Request - 28181 207th Street

Joshua, No legal issues if in conformity with comprehensive plan.

From: Gentzler, Joshua
Sent: Friday, October 22, 2021 11:53 AM
To: 'Mike Stackhouse' <firedistrict1@fd1lv.org>; 'tmgoetz@stjoewireless.com' <tmgoetz@stjoewireless.com>; Amanda Holloway (Amanda.holloway@freestate.coop) <Amanda.holloway@freestate.coop>; Anderson, Kyle <KAnderson@leavenworthcounty.gov>; Anderson, Lauren <LAnderson@leavenworthcounty.gov>; Magaha, Chuck <cmagaha@lvsheriff.org>; Miller, Jamie <JMiller@leavenworthcounty.gov>; Mitch Pleak <MPleak@olsson.com>; Thorne, Eric <ethorne@lvsheriff.org>; Van Parys, David <DVanParys@leavenworthcounty.gov>
Cc: Sloop, Stephanie <ssloop@leavenworthcounty.gov>; Allison, Amy <AAllison@leavenworthcounty.gov>
Subject: DEV-21-175 Rezoning Review Request - 28181 207th Street

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Thank you,

Joshua Gentzler
Planner II
[Planning & Zoning](#)
Leavenworth County
913.684.0464

Allison, Amy

From: Gentzler, Joshua
Sent: Monday, November 1, 2021 9:39 AM
To: Allison, Amy
Subject: FW: DEV-21-175 Rezoning Review Request - 28181 207th Street

Joshua Gentzler
[Planning & Zoning](#)

From: Tim Goetz <tmgoetz@stjoewireless.com>
Sent: Sunday, October 31, 2021 10:38 PM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Subject: RE: DEV-21-175 Rezoning Review Request - 28181 207th Street

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Water District has no issues. Water meter would likely be approve by engineer. Any question please call me 913-704-5899

From: "Gentzler, Joshua" <JGentzler@leavenworthcounty.gov>
Sent: 10/22/21 11:53 AM
To: 'Mike Stackhouse' <firedistrict1@fd1lv.org>, "'tmgoetz@stjoewireless.com'" <tmgoetz@stjoewireless.com>, "Amanda Holloway (Amanda.holloway@freestate.coop)" <Amanda.holloway@freestate.coop>, "Anderson, Kyle" <KAnderson@leavenworthcounty.gov>, "Anderson, Lauren" <LAnderson@leavenworthcounty.gov>, "Magaha, Chuck" <cmagaha@lvsheriff.org>, "Miller, Jamie" <JMiller@leavenworthcounty.gov>, Mitch Pleak <MPleak@olsson.com>, "Thorne, Eric" <ethorne@lvsheriff.org>, "Van Parys, David" <DVanParys@leavenworthcounty.gov>
Cc: "Sloop, Stephanie" <SSloop@leavenworthcounty.gov>, "Allison, Amy" <AAllison@leavenworthcounty.gov>
Subject: DEV-21-175 Rezoning Review Request - 28181 207th Street

Good morning,

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If you have any questions or need additional information, please contact me at (913) 684-0464 or at JGentzler@LeavenworthCounty.gov.

Thank you,

Joshua Gentzler

Planner II

[Planning & Zoning](#)

Leavenworth County

913.684.0464

Allison, Amy

From: Gentzler, Joshua
Sent: Monday, November 1, 2021 9:38 AM
To: Allison, Amy
Subject: FW: DEV-21-175 Rezoning Review Request - 28181 207th Street

Joshua Gentzler
[Planning & Zoning](#)

From: Amanda Tarwater <amanda.holloway@freestate.coop>
Sent: Wednesday, October 27, 2021 9:28 AM
To: Gentzler, Joshua <JGentzler@leavenworthcounty.gov>
Subject: Re: DEV-21-175 Rezoning Review Request - 28181 207th Street

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

FreeState Electric has no objection to this request.

Thank you,

Amanda Tarwater
Member Accounts Coordinator



1-800-794-1989 | www.freestate.coop

From: "Gentzler, Joshua" <JGentzler@leavenworthcounty.gov>
Date: Friday, October 22, 2021 at 11:53 AM
To: 'Mike Stackhouse' <firedistrict1@fd1lv.org>, "'tmgoetz@stjoewireless.com'" <tmgoetz@stjoewireless.com>, Amanda Tarwater <amanda.holloway@freestate.coop>, "Anderson, Kyle" <KAnderson@leavenworthcounty.gov>, "Anderson, Lauren" <LAnderson@leavenworthcounty.gov>, "Magaha, Chuck" <cmagaha@lvsheriff.org>, "Miller, Jamie" <JMiller@leavenworthcounty.gov>, Mitch Pleak <MPleak@olsson.com>, "Thorne, Eric" <ethorne@lvsheriff.org>, "Van Parys, David" <DVanParys@leavenworthcounty.gov>
Cc: "Sloop, Stephanie" <SSloop@leavenworthcounty.gov>, "Allison, Amy" <AAllison@leavenworthcounty.gov>
Subject: DEV-21-175 Rezoning Review Request - 28181 207th Street

Warning: This message originated outside of the FEC organization. Do not click links or open attachments unless you have validated the sender and know the content is safe. <="" span="">

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If you have any questions or need additional information, please contact me at (913) 684-0464 or at JGentzler@LeavenworthCounty.gov.

Thank you,

Joshua Gentzler
Planner II
[Planning & Zoning](#)
Leavenworth County
913.684.0464

Case No. DEV-21-174
Proposed Amendment to the 2006 Leavenworth County Zoning and
Subdivision Regulations
*****Public Hearing Required*****

Staff Report – Planning Commission

December 8, 2021

GENERAL INFORMATION:

Applicant: Leavenworth County Planning and Zoning Department

Planner: Amy Allison

REQUEST:

This is a request to consider a proposed amendment to the 2006 Leavenworth County Zoning and Subdivision Regulations. Proposed amendment is for the following Articles:

Article 3 Definitions
Article 27 (C) Subdivision Standards (Design Review Required)
Article 41 Access Management

The proposed language amendments will address the driveway distance requirements along County Road 1, moving the access standards located in Article 27 (C) to the Access Management section and clean up supporting language and definitions.

STAFF RECOMMENDATION:

The staff recommends approval of Case No.DEV-21-174, proposed amendment to the 2006 Leavenworth County Zoning and Subdivision Regulations.

ACTION OPTIONS:

1. Recommend approval of Case No. DEV-21-174, proposed amendment to the 2006 Leavenworth County Zoning and Subdivision Regulations, to the Board of County Commission, with Findings of Fact; or
2. Recommend denial of Case No. DEV-21-174, proposed amendment to the 2006 Leavenworth County Zoning and Subdivision Regulations, to the Board of County Commission, with Findings of Fact; or
3. Continue the Public hearing to another date, time, and place.

ATTACHMENTS:

Article 3 Redline
Article 27 (C) Redline
Article 41 Redline

ARTICLE 3 – DEFINITIONS

Section 2. DEFINITIONS

Accessory Building: A subordinate building or a portion of the main building, the use of which is clearly incidental to or customarily found in connection with, and (except as otherwise provided in this resolution) located on the same lot as the main building or principal use of land.

Accessory Use: A use which is clearly incidental to or customarily found in connection with; and (except as otherwise provided in this resolution) on the same lot as the principal use of the premises. When “accessory” is used in the text it shall have the same meaning as accessory use.

Administrative Officer or Official: The Director of Planning and Zoning for Leavenworth County shall be the Administrative Officer and shall enforce the provisions of this resolution.

Adult Care Facility or Group Home: A residence, group home or facility that provides permanent or temporary rehabilitative or long-term care for one (1) or more physically, mentally or socially disabled or handicapped individual(s) over the age of 18 years that are unrelated to the care provider. An adult care facility may be, but is not limited to, a nursing home, a group home for the mentally or physically handicapped, a halfway house, a mental rehabilitative facility, a detention facility, etc.

Agricultural Purposes: The use of a tract of land, forty (40) acres or greater, where the principal activity is to produce income from the growing of crops, horticulture, nurseries, truck farms, or the raising of fish, poultry and cattle or other livestock, including commercial feed lots. Such definition includes the structures necessary for carrying on farming operations. The retail sale of items produced as part of the farming operation is permitted including the operation of commercial greenhouses and hydroponic farming. The feeding or disposal of community or collected garbage shall not be deemed an agricultural use. (BOCC Resolution 2011-7; February 24, 2011)

Alley: A minor way, normally twenty (20) feet or less in width, dedicated to public use, which affords a secondary means of access to abutting property.

Apartment: A room or suite of rooms in a multiple-dwelling structure intended or designed for use as a residence by a single family.

Apartment Hotel: A building arranged for or containing apartments and individual guest rooms with or without housekeeping facilities, and which furnishes services ordinarily provided by hotels, such as maid, bellboy, desk and laundry service, and may include a dining room with internal entrance and primarily for use of tenants of the building. The building shall not include public banquet halls, ballrooms or meeting rooms.

Apartment House: See Dwelling, Multiple.

Approved Public Sanitary Sewer System: A sewage disposal plant, main sanitary sewer lines and other collection lines approved by Leavenworth County and by the Kansas Department of Health and Environment.

Approved Public Water System: Water treatment plant distribution lines approved by the Board of County Commissioners and by the Kansas Department of Health and Environment.

Arterial Street: ~~A street or road of great continuity, which serves as a major thoroughfare and is so designated in the Comprehensive Guide Plan for Leavenworth County, Kansas.~~
~~—(Also termed major street or thoroughfare) A roadway that carries longer-distance traffic flow between communities and important centers of activity.~~

Basement: A story having part, but not more than one-half (1/2), of its height below grade. A basement is counted as a story for height regulation if subdivided and used for business or dwelling purposes other than by a janitor employed on the premises.

Benchmark: See Minimum Elevation for Buildings

Block: A piece or parcel of land entirely surrounded by public highways, streets, railroad rights-of-way, or parks, etc., or a combination thereof.

Board: Board of Zoning Appeals of Leavenworth County.

Boarding House or Lodging House: A building other than a hotel where, for compensation, meals or lodging and meals are provided for three (3) but not more than twenty (20) persons.

Boundary Line Adjustment: The adjustment of one (1) or more common boundaries between existing un-platted tracts or parcels, which will not create additional tracts or parcels. A Boundary Line Adjustment shall only be granted for tracts or parcels which will meet the requirements of the Zoning and Subdivision Regulations, Sanitary Code, and other applicable regulations, and will not create a non-compliant (substandard) tract or parcel. The following exceptions shall be allowed: (BOCC Resolution 2017-13; March 23, 2017)

1. Parcels containing structures closer than 105' from the centerline of the road that were built prior to September 27, 1971 shall be eligible for a Boundary Line Adjustment provided the following criteria are met:
 - a. The structure shall be a minimum of 10' from the proposed, future, right-of-way dedication as determined by the County Engineer.
 - b. In the event the structure is destroyed more than 50%, reconstruction shall be subject to current Zoning & Subdivision Regulations, Sanitary Code and any other applicable regulations.
2. Parcels containing accessory structures closer than 15' from the side and/or rear property line that were built prior to September 27, 1971 shall be eligible for a Boundary Line Adjustment provided the structure will meet the most current applicable Zoning and Subdivision Regulations, Sanitary Code and other applicable regulations upon adjustment of the boundary line.
3. Parcels containing dwelling units closer than 15' from the side property line and/or closer than 40' from the rear property line that were built prior to September 27, 1971 shall be eligible for a Boundary Line Adjustment provided the structure will meet the most current applicable Zoning and Subdivision Regulations, Sanitary Code and other applicable regulations upon adjustment of the boundary line.

4. Parcels containing structures closer than 105' from the centerline of the road which were built prior to September 27, 1971 shall be eligible for a Boundary Line Adjustment provided the following criteria are met:
 - a. The structure shall be a minimum of 10' from the proposed, future, right-of-way dedication as determined by the County Engineer.
 - b. In the event the structure is destroyed more than 50%, reconstruction shall be subject to current Zoning & Subdivision Regulations, Sanitary Code and any other applicable regulations.

Buildable Width: The width of that part of a lot not included within the open spaces herein required.

Buildings: Any structure designed or intended for the support, enclosure, shelter, or protection of persons, animals, or property.

Building Setback Line: A line on a plat, generally parallel to the street right-of-way, indicating the limit beyond which no buildings or structures may be erected.

Campground: A plot of ground on which two or more campsites are located, established, or maintained for occupancy by camping units as temporary living quarters for recreation, education, or vacation purposes.
(BOCC Resolution 2009-1; January 29, 2009)

Camping Unit: Any tent, trailer, cabin, lean-to, recreational vehicles, or similar structure established or maintained and operated in a campground as temporary living quarters for recreation, education, or vacation purposes.
(BOCC Resolution 2009-1; January 29, 2009)

Car Restoration: The act of restoring a car/vehicle back to a prior condition, by the means of molding, welding, hammering, replacing parts, sanding, sandblasting, fabricating and painting.
(BOCC Resolution 2009-9; March 26, 2009)

Centerline of the Road: The centerline of the original street right-of-way midway between the sides. If the street has been narrowed or widened on one side or unequally, said determination shall be made by the County Engineer.

Child Care Facilities:

- a. Registered Family Day Care: Day care services offered in a person's own home for six (6) or fewer children as defined by the Kansas Department of Health and Environment.
- b. Licensed Day Care Home: A home where care is provided for seven (7) to ten (10) children as defined by the Kansas Department of Health and Environment.
- c. Child Care Center and/or Preschool: A facility providing care and/or educational activities for seven (7) or more children for less than 24 hours per day as defined by the Kansas Department of Health and Environment.
- d. Group Boarding Home: A facility caring for not less than five (5) nor more than ten (10) children unrelated to the staff as per the Kansas Department of Health and Environment.
- e. Residential Centers for Children and Youth: Provides 24-hour care for more than ten (10) residents as per the Kansas Department of Health and Environment.

Clinic: An office building or group of offices for one or more physicians, surgeons, or dentists engaged in treating the sick or injured but not where patients are lodged overnight.

Club or Lodge - Private: Buildings and facilities owned or operated by a corporation, association, person or persons for a social, educational, or recreational purpose, but not primarily for profit which inures to any individual and not primarily to render a service which is customarily carried on as a business.

Collector Street: ~~A street that is designed to serve traffic needs between arterial and local streets and not to provide access to abutting properties.~~ A roadway that carries traffic from local streets to arterial streets

Commercial Vehicle: Any motor vehicle, other than a passenger vehicle, and any trailer, semitrailer or pole trailer drawn by such motor vehicle, which vehicle is designed, used and maintained for hire, compensation, profit, or in the furtherance of commercial enterprise. Commercial vehicle shall not include any motor vehicle or motorized equipment used for agricultural purposes. Commercial vehicle shall not include any motor vehicle used exclusively for the purpose of transporting students to school or any school sanctioned event. (BOCC Resolution 2015-2; January 29, 2015)

Comprehensive Plan: The duly adopted comprehensive plan or guide plan for the development of the County which includes maps, charts, illustrations and texts for, but not necessarily limited to the following:

1. Land use studies;
2. Goals and objectives;
3. Population study and forecasts;
4. Economic data base;
5. Major thoroughfare and streets plan;
6. Community facilities and public utilities plan; and
7. General development plan.

Contractor's Yard: Any unenclosed part of a parcel of land where any of the following is stored, parked, or placed: construction equipment, machinery, vehicles, trailers, maintenance equipment, building products and materials, and other materials including but not limited to materials and equipment typically associated with construction, fabrication and maintenance. A contractor's yard may be fenced, screened or open to view from adjacent properties. Equipment used for agricultural purposes **only** shall not be considered a contractor's yard. (BOCC Resolution 2011-45; December 1, 2011)

Convalescent Home: A building where regular nursing care is provided for more than one person not a member of the family that resides on the premises.

County Board: This is the Board of County Commissioners of Leavenworth County, Kansas. (See also Governing Body)

Court: An unoccupied open space, other than a yard, on the same lot with a building, which is bounded on two or more sides by the walls of such building.

Cul-de-sac: A ~~minor~~ low volume street with only one outlet and culminated by a vehicle turnaround.

Design Standards or Requirements: The requirements and regulations that relate to the design and layout of subdivisions.

Detention Facility: A facility for the temporary or permanent housing and detention of any individual subject to the custody of any local, state or federal authority due to any pending or past criminal charges or convictions.

Drive-In: A term used to describe an establishment designed or operated to serve a patron while seated in an automobile parked in an off-street parking space.

Dwelling: A building or portion thereof, with dwelling unit(s) designed exclusively for human habitation, including one-family, two-family and multiple-family dwelling structures or complexes, manufactured home, boarding and lodging houses, apartment houses and townhouses but not hotels.

Dwelling, One-Family or Single-Family: A building designed for or occupied by one (1) family.

Dwelling, Multiple-Family: A building or portion thereof designed for or occupied by more than two (2) families.

Dwelling, Two-Family or Duplex: A building designed for or occupied by two (2) families.

Dwelling Unit: A room or group of rooms, designed, occupied or intended for occupancy as separate living quarters, with cooking, sleeping and sanitary facilities provided within the unit for the exclusive use of one family maintaining a household.

Easement: A grant by the property owner to the public, a corporation or a certain person or persons, for the use of a strip of land for specific purposes.

Engineer: A professional engineer licensed by the State of Kansas or licensed to practice in the State of Kansas.

Family: A group of one or more persons occupying a premise and living as a single housekeeping unit as distinguished from a group occupying a boarding house, lodging house or hotel as herein defined.

Farm: An area encompassing a minimum of forty (40) contiguous acres which is used for the growing of the usual farm products such as vegetables, fruits, trees, and grain, and their storage on the area, as well for the raising thereon of the usual farm poultry and farm animals, such as horses, cattle, sheep and swine. The term "farming" includes the operation of such an area for one or more of the above uses, including dairy farms, with the necessary operation of any such accessory uses shall be secondary to that of the normal farming activities.
(BOCC Resolution 2011-7; February 24, 2011)

Filling Station: Any building, structure, or land used for the dispensing, sale, or offering for sale at retail of any automobile fuel, oils, or accessories, including lubrication of automobiles and replacement or installation of minor parts and accessories but not including major repair work such as motor replacement, body and fender repair or spray painting.

Final Plat: A map of a subdivision of land prepared in accordance with all state plat statutes and local subdivision regulations. A final plat will show all data required for a complete

description for the lands it delineates and, once approved and filed, constitutes the legal description for the land.

Flood Plain or Flood Plain District: That area designated by the governing body as susceptible to flooding including but not limited to the regulatory flood plain designated by the Federal Emergency Management Agency (FEMA).

Floor Area:

- a. Commercial, business and industrial buildings or buildings containing mixed uses. The sum of the gross horizontal areas of the several floors of a building measured from the exterior walls or from the centerline of walls separating two buildings, but not including:
 - 1) attic space providing headroom of less than seven feet;
 - 2) basement space not used for retailing;
 - 3) uncovered steps or fire escapes;
 - 4) accessory water towers or cooling towers;
 - 5) accessory off-street parking spaces; and
 - 6) accessory off-street loading berths.
- b. Residential buildings: the gross horizontal areas of the several floors of a dwelling, exclusive of garages, basements and open porches, measured from the exterior faces of the exterior walls.

Front Property Line: The line of a lot, parcel, or tract common to the roadway easement or right-of-way. In the case of a lot, parcel, or tract (used for residential or agricultural purposes) that has more than one common line with the roadway easement or right-of-way, the front line shall be the line that is common with the roadway easement or right-of-way that provides the vehicular access onto the property. The Director of the Planning and Zoning Department shall make the determination of the front line in the event that the parcel has more than one line common with the roadway easement or right-of-way. A lot, parcel, or tract that has access from a private street shall comply with the requirements of approval of the development establishing the private street.
(BOCC Resolution 2011-36; August 25, 2011)

Front Yard: An open space unoccupied by buildings or structures (except hereinafter provided) across the full width of the lot extending from the front line of the building to the front street line of the lot.

Front Yard Depth: The minimum horizontal distance from the front line of a building to the front street line of the lot.

Marginal Access Street or Frontage Road: ~~A low volume minor street that is parallel and adjacent to a high volume major street, highway, or railroad right-of-way and provides access to abutting properties.~~

Garage, Private: An accessory building not exceeding 900 square feet in area designed or used for the storage of not more than four motor driven vehicles owned and used by the occupants of the building to which it is an accessory. Not more than one of the vehicles may be a commercial vehicle and that one of not more than two-ton capacity.

Garage, Public: Any building or premises used for equipping, repairing, hiring, selling or storing motor driven vehicles.

Garage, Auto Repair: Any building or premises used for the storage, care or repair of motor vehicles, which is operated for commercial purposes.

Governing Body: The Board of County Commissioners of Leavenworth County, Kansas.
(See also County Board)

Government Lot: (From United States Public Land Survey) A subdivision of a section that does not conform to an aliquot part, normally described by a lot number, as represented and identified by the approved township plat. Not a legal lot under the Leavenworth County subdivision regulations. (Aliquot: the part of a distance that divides the distance without a remainder.)

Group Home (Type One): Any dwelling occupied by not more than ten individuals including

- a) eight (8) or fewer individuals with a disability who need not be related by blood or marriage and
- b) not to exceed two staff residents who need not be related by blood or marriage to each other or to the eight or fewer other said individuals, who are occupying and living together in a single-family dwelling licensed by a regulatory agency of the State of Kansas as a group home. For purposes of this definition, the term "disability" means, with respect to an individual:
 - a. A physical or mental impairment which substantially limits one or more of such individual's major life activities;
 - b. A record of having such an impairment; or
 - c. Being regarded as having such an impairment.

Such term does not include current, illegal use of or addiction to a controlled substance, as defined in Section 102 of the Controlled Substance Act (21 U.S.C. 802).

Group Home (Type Two): Any dwelling occupied by not more than ten individuals including

- a) eight (8) or fewer individuals who need not be related by blood or marriage and who are:
 - a. assigned to a community corrections program or a diversion program, or
 - b. on parole from a correctional institution or on probation for a felony offense, or
 - c. in a state mental institution following a finding of not guilty by reason of insanity pursuant to K. S. A. 22-3428, and amendments thereto, or
 - d. mentally ill individuals who have either not been evaluated by a licensed provider or who have been evaluated by a licensed provider and such provider has determined that the mentally ill individual is dangerous to others or such provider has determined that the mentally ill individual is unsuitable for placement in a Group Home Type One;
- and b) not to exceed two staff residents who need not be related by blood or marriage to each other or to the residents of the home.
(BOCC Resolution 2020-04; January 8, 2020)

Growth Management Zones: Zones or areas designated in the Comprehensive Plan for Leavenworth County. Such zones are not to be confused with zoning districts, which control land use, but rather designate areas of the County undergoing urbanizing pressures. These zones provide for variations on development patterns and type of required improvements.

Guest House: Living quarters within a detached, accessory building located on the same lot with the main building for use by temporary guests of the occupants of the premises, such

quarters having only two (2) bedrooms and no kitchen facilities, no garage and not rented or otherwise used as a separate dwelling.

Half-Street: A street bordering one or more property lines of a subdivision tract to which the subdivider has allocated only a portion of the required street right-of-way width.

Height of Building: The vertical distance from the average ground level abutting a building or structure to the highest point of a building or highest point of any permanent part of a structure other than a building.

High Volume Street: A roadway section with historical vehicle traffic volumes of greater than 1000 vehicles per day (vpd).

Home Occupation: A permitted accessory use in Rural Residential Zoning that shall be subject to the following:

A. Restrictions and Limitations:

1. The home occupation shall be carried on wholly within a main building or structure, or within a permitted accessory building or structure, provided that the primary use of the main building or structure is clearly the dwelling used by the person as such person's private residence.
2. No display or storage of equipment or material outside of a building or structure shall be permitted.
3. No alteration of the exterior of the principal residential building shall be made that removes the character of that building as a residence. There shall not be visible evidence of the business from the street or surrounding properties. The appearance of the building as a dwelling or residence shall not be altered to the extent it would appear to be a commercial or business operation. Alterations of building material, size, or color; light fixtures or intensity; parking area; or any other exterior change shall not cause the structure to lose its residential character nor shall it detract from the rural or residential character of the area.
4. Only one (1) non-illuminated ground or wall sign, not more than 16 square feet in sign area, may be used to identify the home occupation.
5. Employees or other assistants shall be limited to immediate members of the family residing on the premises and two (2) other people.
6. No equipment or machine may be used in such activities that is perceptible off the premises by reason of noise, smoke, dust, odor, heat, glare, radiation, electrical interference or vibration.
7. Parking generated by the conduct of a home occupation shall be provided off-street in an area other than the required front yard except that existing driveways may be used.
8. Vehicular or parking demand shall not exceed twelve (12) two-way vehicular or parking of greater than four (4) customer vehicles at any one time during any 24-hour period.
9. The commercial exchange of tangible goods or items constituting a sale between the proprietor of a home occupation and members of the general public shall not be permitted on the premises of a home occupation except on an incidental, occasional and infrequent

basis. Members of the general public shall not include persons in the home by prior individualized invitation.

10. A home occupation may attract patrons, students, or any business-related individuals only between the hours of 6 A.M. and 7 P.M. A home occupation shall not generate more than twelve (12) business related visitations per day which shall constitute twelve (12) arrivals and twelve (12) departures by vehicle. These standards shall not be construed so as to prohibit occasional group gatherings, recitals, or demonstrations. However, such gatherings shall not occur more frequently than once per month and must be held within the visitation hours specified above in this paragraph.
11. The keeping of stock and trade on premises shall be permitted so long as the majority of commerce is done via mail service.
12. Home occupation shall comply with all local, state, and federal rules and regulations that may be applicable.

B. Particular Home Occupations Permitted: Permitted home occupations may include, but are not limited to, the following list of occupations, provided, however, that each home occupation is subject to the home occupation restrictions and limitations within these regulations:

1. Teaching or instruction provided not more than three (3) students are taught at any one time and not more than twelve (12) students per day.
2. Preschools or day-care centers for not more than twelve (12) children or adults per day, when properly approved by the Kansas Department of Health and the Environment or other such agencies as may be required by law.
3. Professional office for accountants, architects, bookkeepers, engineers, lawyers, and similar professions.
4. Offices for Realtors, insurance agents, brokers, sales representatives, and manufacturing representatives when no exchange of tangible goods is made on the premises.
5. Home crafts and hobbies such as model making, rug weaving, and the like articles produced or constructed as a hobby activity shall not be sold on the premises except on an occasional and infrequent basis.
6. Tailoring, alterations, and seamstresses.
7. Beauty shops.
8. Medical offices such as physicians, dentists, chiropractors' offices.
9. Repair of items such as small appliances; personal electronic devices such as radios, televisions, stereos, personal computers or calculators provided that the use fully conforms with the performance requirements for home occupations.

C. Particular Home Occupations Prohibited:

1. Retail sales and services such as antiques, second-hand merchandise, groceries, and the like. However, this prohibition shall not apply to garage sales, tag sales, or similar occasional, temporary sales which may otherwise be permitted by County regulations and Temporary Special Use Permit regulations
2. Equipment rental.

3. Automobile and other motor vehicle repair services.
4. Tourist homes including bed and breakfast facilities.

D. Home Occupations shall require a permit from the Leavenworth County Planning and Zoning Department.

1. Permit fee shall be subject to the fee schedule as determined by the Board of County Commissioners
2. Permits shall remain valid unless the conditions of the home occupation permit as set forth in these regulations have not been met.
(BOCC Resolution 2020-09; March 4, 2020)

Hospital: A building or group of buildings, having room facilities for one or more abiding patients, used for providing services for the inpatient medical or surgical care of sick or injured humans, and which may include related facilities such as laboratories, out-patient departments, training facilities, central service facilities, and staff offices; provided, however, that such facilities must be incidental and subordinate to the main use and must be an integral part of the hospital operation.

Hotel: A building in which lodging or boarding and lodging are provided for more than 20 persons primarily transient and offered to the public for compensation and in which ingress and egress to and from all rooms is made through an inside lobby or office supervised by a person in charge at all hours. As such, it is open to the public in contradistinction to a boarding house, a lodging house, or an apartment that are herein separately defined. A hotel may include restaurants, taverns or clubrooms, public banquet halls, ballrooms, and meeting rooms.

Improvements: Street improvements with curbs, pedestrian ways, water mains, sanitary and storm sewers, permanent street monuments, trees and other appropriate items.

Initial Urban Growth Area: An area comprised of the surrounding 660 feet of incorporated city limits.
(BOCC Resolution 2020-012; April 1, 2020)

Interior Subdivision Street: A roadway, either public or private, designed as part of a subdivision, built by a developer, to provide access to the residential properties within the subdivision.

Junk Yard/Salvage Yard: An area of land with or without buildings, used for or occupied by a deposit, collection or storage, outside a completely enclosed building, of used or discarded materials such as, but not limited to, wastepaper, rags or scrap material, used building materials, house furnishings, machinery, motor vehicles or parts thereof, with or without the dismantling, processing, salvage, sale, other use or disposition of the same. A deposit or storage on a plot of two (2) or more wrecked vehicles or parts thereof, for one (1) week in an agricultural/residential district, or for three (3) weeks or more in any other district, shall be deemed a junk yard/salvage yard.

Kennel: Any place, area, building, or structure on any tract smaller than 20 acres where more than an aggregate total of four (4) adult dogs, more than one (1) year old are kept, boarded, bred or trained whether or not for commercial gain or as pets; or, any place, area

building or structure on any tract 20 acres or more where more than an aggregate total of seven (7) adult dogs, more than one (1) year old, are kept, boarded, bred, or trained, whether or not for commercial gain or as pets.(BOCC Resolution 2018-19; April 3, 2018)

Loading Space: A space within the main building or on the same lot, providing for the standing, loading or unloading of trucks, having a minimum dimension of 12 by 35 feet and a vertical clearance of at least 14 feet.

Local Street: A low volume roadway that carries traffic from interior subdivision roadways to adjacent local, collector, arterial, or state roads

Lot: A portion of a platted subdivision of land intended for the purpose, whether immediate or future, of transfer of ownership or for building development. It shall be occupied, or intended to be occupied by one main building together with its accessory structures, including open spaces and parking spaces required by these regulations, and having its principal frontage upon a street or upon an officially approved place. In any case, such street or place must be approved and accepted by the County Planning Commission and County Engineer as regard compliance with all requirements governing such streets and places.

Lot, Corner: A lot abutting upon two (2) or more streets at their intersection and shall be deemed to front on that street on which the lot has its least dimension unless otherwise designated by the Board of Zoning Appeals.

Lot, Depth: The mean horizontal distance between the front lot line and the rear lot line. (See Drawing No. 1 in Appendix for block diagram showing lot types and setbacks.)

Lot, Double Frontage: Any lot having a frontage on two (2) nonintersecting streets.

Lot, Interior: A lot other than a corner lot with only one street frontage.

Lot Line: The boundary line of a lot.

Lot of Record: A lot which is part of a subdivision, the map or plat of which has been recorded in the office of the Register of Deeds of Leavenworth County.

Lot Split: A subdivision of land of a platted parcel. (BOCC Resolution 2011-36; August 25, 2011)

Lot, Through: An interior lot having frontages on two streets.

Lot Width: The distance between the side lot lines measured at the front property line, except on cul-de-sac lots, where it is the distance between side lot lines measured at a designated distance from the right-of-way line, not exceeding 150 feet from the front property line.

Low Volume Street: A roadway section with historical vehicle traffic volumes of less than or equal to 1000 vehicles per day (vpd).

Major ~~Thoroughfare~~ Street: See Arterial Street, High Volume Street.

Manufactured Homes: A dwelling unit fabricated in an off-site manufacturing facility for installation or assembly at the building site. See Article 26 for classification and standards.

(BOCC Resolution 2009-1; January 29, 2009)

~~Marginal Access Street or Frontage Road: A minor street that is parallel and adjacent to a major street highway or railroad right of way and provides access to abutting properties.~~

Micro Distillery: Allows the distilling, mixing, bottling, wholesale, and storage of not more than 50,000 gallons of spirits per year. Retail sales and sampling allowed only in B-1, B-2, B-3, I-1, I-2, & I-3 Zoning Districts. All applicable State and Federal permits/licenses are required. (BOCC Resolution 2015-15; June 25, 2015)

~~Minor (Local) Street: A street or road of limited continuity, which serves or is intended to serve the local direct access needs of a neighborhood. See Low Volume Street.~~

Minimum Elevation for Building: The finished floor elevation of the lowest floor, tied to a published datum, e.g. USGS, NGS, FEMA, LevCo, etc.

Mobile Home: A structure which is subject to the federal manufactured home construction and safety standards established pursuant to 42 U.S.C. 5403

Mobile Home Park or Subdivision: Any park, mobile home park, mobile home court, camp site, lot, parcel or tract of land designed, maintained or intended for the purpose of supplying a location or accommodations for any mobile home or mobile homes and upon which any mobile home or mobile homes are parked and shall include all buildings used or intended for use as part of the equipment thereof whether a charge is made for the use of the mobile home court and its facilities or not. "Mobile Home Park" shall not include automobile or mobile home sales lots on which unoccupied mobile homes are parked for purposes of inspection and sale.

Motel, Motor Court, Motor Hotel or Inn: Same as "Hotel", except that the building or buildings are designed primarily to serve tourists traveling by automobile and that ingress and egress to rooms need not be through a lobby or office.

Non-Conforming Use: Any building or land lawfully occupied by a use at the time of passage of this resolution or amendments thereto, which does not conform after the passage of this resolution or amendments thereto with the use regulations of the district in which it is situated.

Nursing Home: Same as "Convalescent Home".

Parcel: One or more adjoining lots and/or tracts held in a single ownership and designated by a number assigned by the Appraiser's office for taxation purposes.

Parking Lot: An area of a tract or lot devoted to unenclosed parking spaces for motor vehicles.

Parking Space: An all-weather surfaced area not in a street or alley and having an area of not less than 180 square feet, exclusive of driveways, permanently reserved for the temporary storage of one automobile and connected with a street or alley by an all-weather surfaced driveway which affords satisfactory ingress and egress for automobiles.

Pedestrian Way: A right-of-way, dedicated for public use, which cuts across a block to facilitate pedestrian access to adjacent streets and properties.

Performance Bond or Guaranty: Any form of guaranty acceptable by the County but, most frequently a surety bond, cash deposit or letter of credit, made out to the County of Leavenworth in an amount equal to the full cost of the improvements, which are required by these regulations, said bond, letter of credit or cash deposit being estimated by the County Engineer, and said surety bond, letter of credit or cash deposit being legally sufficient to secure to the County of Leavenworth that said improvements will be constructed in accordance with these regulations.

Permanent Foundation: The foundation of formed and poured-in-place concrete, placed masonry units, or pressure treated material having concrete footings or piers extending below the frost line, laid up with such reinforcing materials as may be required for residential or commercial construction, whichever is applicable.

Place: An open, unoccupied space other than a street or alley permanently established or dedicated as the principal means of access to property abutting thereof.

Plat: A diagram drawn to scale showing all essential data pertaining to the boundaries and subdivisions of a tract of land, as determined by survey. A plat will show all data required for a complete and accurate description of the land that it delineates, including the bearings and lengths of the boundaries of each subdivision. A plat may constitute a legal description of the land and be used in lieu of a written description. A plat must meet all state plat statutes, local subdivision regulations and those set forth by Kansas Minimum Standards for Boundary Surveys No. 1.

Plat of Survey or Certificate of Survey: A diagram drawn to scale showing all essential data pertaining to the boundaries and subdivisions of a lot, tract, or parcel(s) of land, as determined by a boundary survey. The survey must be performed according to Kansas Minimum Standards for Boundary Surveys No. 1.
(BOCC Resolution 2011-36; August 25, 2011)

Planning Commission: The advisory board appointed by the Board of County Commissioners under K.S.A. 12-741 et. seq.

Planning Department: The Leavenworth County Planning Department.

Post Release Facility: Any building or parcel of land used by any public or private organization to transition convicted felons into the community. A building or parcel of land meets the definition of a Post Release Facility if it does not meet the definition of a Detention Facility, as defined elsewhere in these regulations, and one or more persons convicted of any felony are ordered confined to the building or parcel of land for any length of time by the U.S. Department of Corrections, Kansas Secretary of Corrections, any other state department of corrections, any local law enforcement agency, or the Kansas Secretary of Social and Rehabilitative Services (SRS) for any period of time for the expressed purpose of the eventual release of said person(s) into the community.

Preliminary Plat: A map made for the purpose of showing the proposed subdivision and the existing conditions in and around it. The exterior boundary must be established according to Kansas Minimum Standards for Boundary Surveys No. 1. This map need not be based on accurate or detailed final survey of the lots in the subdivision.
(See also Plat.)

Private Event: An event occurring at a private residence/property that is not open to the general public, tickets are not required, and no fee is associated with the event. Event has not been published or advertised in a public manner. Examples of a private event include but are not limited to: graduation party, wedding reception, birthday party, family reunion, picnics, and barbecues. (BOCC Resolution 2015-35; September 24, 2015)

Private Road: A non-dedicated way, other than driveway, that forms the principal vehicular access to two or more properties. Private roads shall be subject to the Cross Access Easement requirements. (BOCC Resolution 2021-11; March 31, 2021)

Professional Office: An office with one or more employees other than members of the immediate family. An office for the conduct of a profession by a person engaged in a recognized professional occupation, vocation or calling, especially one of the three vocations of theology, law and medicine and not solely commercial, mechanical or agricultural in nature, and in which knowledge or skill in some science or learning is used by its practical application to the affairs of others, either advising or guiding them in serving their interest or welfare through the practice of a profession.

Public Event: Any event which is publicly advertised, open to the general public, and requires a fee or ticket for entrance. Examples of a public event include but are not limited to: Concerts, movie screenings, fundraisers, organized bicycle rides, foot races, car shows, and music festivities. (BOCC Resolution 2015-35; September 24, 2015)

Rear Line: Any lot line that is not a front lot line or a side lot line.

Rear Yard: A yard extending across the rear of the lot between the side lot lines and measured between the rear lot line and the rear of the main building or any projection other than steps, unenclosed porches or entranceways.

Rear Yard Depth: The minimum horizontal distance from the rear line of a building to the rear line of the lot.

Recreation Vehicle: A vehicular-type portable structure without permanent foundation that can be towed, hauled, or driven and is primarily designed as a temporary living accommodation for recreation and camping purposes.
(BOCC Resolution 2009-1; January 29, 2009)

Regulatory Flood: The flood determined by the Federal Emergency Management Agency (FEMA) as having a one percent chance of being equaled or exceeded in any given year.
(See also 100-year Flood)

Regulatory Flood Elevation: The elevation at which the regulatory flood is determined to occur.

Regulatory Flood Plain: Land included within the regulatory floodway and floodway fringe areas as determined by the Federal Emergency Management Agency (FEMA).

Replat: A map made as a revision to a previously recorded final plat. Such map must meet all state plat statutes, local subdivision regulations and those set forth by Kansas Minimum Standards for Boundary Surveys No. 1.

Residential-Design Manufactured Home: A manufactured home on a permanent foundation which has (a) minimum dimension of 22 feet in body width, (b) a pitched roof, (c) siding and roofing materials which are customarily used on site-built homes.

Restaurant: A building wherein food is prepared and served in ready-to-eat form to the public for human consumption. "Restaurant" includes café, cafeteria, grill, pizza parlor, diner, snack shop, hamburger shop and steak house.

Re-subdivision (Re-plat): The further subdivision of a tract of land that has previously been lawfully subdivided and for which a plat of such prior subdivision has been duly recorded.

Road or Roadway: ~~This is the portion of the street available for vehicular traffic, and where curbs are laid, the portion from back to back of curbs.~~ See Street.

Rural Growth Area: The unincorporated area of Leavenworth County lying outside the incorporated cities thereof, the Initial Urban Growth Area and the Secondary Growth Area.

Secretary: This is the Secretary of the Planning Commission.

Side Line: Any lot line that intersects the front lot line. A side lot line shall include any linked line segments or arcs that have a bearing that is within 45 degrees of a line drawn perpendicular to the front lot line.

Side Yard: A yard extending between the rear line of the front yard to the rear yard line, and being the minimum horizontal distance between the side lot line and the side of the main building or any projections thereof.

Sign: A sign is any structure or part thereof, or any device attached to, painted on, or represented on a building, fence or other structure, upon which is displayed or included any letter, work, model, banner, flag, pennant, insignia, decoration, device, or representation used as, or which is in the nature of, an announcement, direction, advertisement, or other attention directing device. A sign shall not include a similar structure or device located within a building except illuminated signs within show windows. A sign includes any billboard, but does not include the flag or pennant, or insignia of any nation or association of nations, or of any state, city or other political entity, or of any charitable, educational, philanthropic, civic, political, or religious organization.

Sign Area: That area within a line including the outer extremities of all letters, figures, characters and delineations or within a line including the outer extremities of the framework or background of the sign, whichever line includes the larger area. The support for the sign background, whether it is columns, a pylon or a building or part thereof, shall not be included in the sign area.

Sign, Identification: A sign of no more than 6 square feet made of durable material, denoting and limited to the name of the occupant and the name of the business conducted on the premises.

Sign, Illuminated: Any sign designed to give forth artificial light, or designed to reflect light from one or more sources of artificial light erected to provide light for the sign.

Small Limited Business: A secondary use permitting the keeping of stock-in-trade, the sale of economic goods, and/or an office in connection with a commercial or industrial enterprise,

provided the person engaged in the business is the resident/owner of the dwelling unit, that only one (1) person other than members of the immediate family residing in the dwelling unit may assist in the operation of the business, and that in no way shall the appearance of the structure be altered or the occupation within the dwelling unit be conducted in a manner that would cause the premises to differ from its residential character. (BOCC Resolution 2016-9; April 28, 2016)

Socially Disabled: A person that suffers from or is recovering from the effects of substance abuse, is in need of rehabilitative care, and/or any type of professional mental care or support.

Spirits: Any beverage which contains alcohol obtained by distillation, mixed with water or other substances in solution, and such liquors when rectified, blended or otherwise mixed with alcohol or other substances. (BOCC Resolution 2015-15; June 25, 2015)

Stable, Private: A stable for horses, ponies or mules which are owned by the occupants of the premises and which are not kept for remuneration, hire or sale.

Stable, Riding: A stable, in which horses, ponies or mules, used exclusively for pleasure riding or driving, are housed, boarded or kept for remuneration, hire or sale.

Story: That portion of a building, other than the basement, included between the surface of any floor and the surface of the next floor above it, then the space between such floor and the ceiling next above it.

Street: A ~~public~~ thoroughfare, which affords the principal means of access to ~~property~~-abutting properties thereon. For the purposes of these regulations, the term Street shall include "avenue", "highway", "road", and similar terms.

Street Line: A dividing line between a lot, tract, or parcel of land and a contiguous street.

~~Street, Marginal Access: A minor street which is generally parallel to and adjacent to a major street, trafficway, highway or railroad right-of-way and which provides access to abutting properties from through traffic.~~

Street, Width: The distance measured perpendicular to the centerline of the paved portion of the right-of-way; either to the back of the curb, where a curb exists, or to the edge of pavement where no curb exists.

Structural Alterations: Any change in the supporting members of a building, including but not limited to bearing walls or partitions, columns, beams or girders, or any substantial change in the roof or in the exterior walls.

Structure: Anything constructed or erected, the use of which requires permanent location on the ground or attachment to something having a permanent location on the ground, but not including fences or public items such as utility poles, street light fixtures and street signs.

Subdivider: The term subdivider means any person, individual, firm, partnership, association, corporation, estate, trust or any other group or combination acting as a unit, dividing or proposing to divide land, so as to constitute a subdivision as defined herein, and includes any agent of the subdivider.

Subdivision:

1. The division of a tract of land into two or more parts, lots or parcels.
2. The pending transfer of ownership through "contract" sale or similar agreement is a subdivision of the original tract.
3. Any division of a tract of land, where a new street, additional right-of-way or an existing street is involved.

The term "subdivision" includes re-subdivision, and the term "resubdivision", as used herein, shall include any further subdivision of a lot or parcel of land previously subdivided for sale, use, or other purposes, which varies from the latest approved subdivision of the same.

The following shall be exempt from the requirements of platting, replatting, a lot split, or a tract split per these regulations:

- a. Any dividing or separating of a tract of land to be used strictly for agricultural use or single-family residential purposes only and not requiring streets, easements, utilities (other than for agricultural function) or similar improvements, and encompassing in excess of forty (40) acres of land, shall not be interpreted as a subdivision under these regulations.
- b. Any division of ownership of a single parcel as the result of the culmination of a legally recognized will shall not be defined as a subdivision for any use other than agriculture.
- c. Any parcel vacated by the Board of County Commissioners.
- d. Any parcel divided, either by a natural barrier, such as a river or stream or a man-made barrier, such as a railroad track or state, county, or township road, which creates a physical division of land, because of its characteristics.
- e. Land that is to be used for cemetery purposes.
- f. A Boundary Line Adjustment.
- g. Land used for a public purpose, including the dedication of land for a public use or instruments relating to the vacation of land for a public use.
- h. Land used for street or railroad right-of-way, a drainage easement or other public utilities subject to local, state, or federal regulations, where no new street or easement of access is involved.

(BOCC Resolution 2014-11; April 24, 2014)

Surveyor: A surveyor licensed by the state of Kansas or licensed to practice in the State of Kansas.

Temporary Use: A use established for a limited duration with the intent to discontinue such use upon the expiration of the time period.
(BOCC Resolution 2009-1; January 29, 2009)

Tract: A single piece of land established by a legal description on a recorded deed, but not part of an approved and recorded Final Plat.

Tract of Record: Any tract of land, not located in a recorded Final Plat, the deed of which was recorded prior to August 20, 1987.

Tract Split: A subdivision of land of an un-platted parcel.
(BOCC Resolution 2011-36; August 25, 2011)

Trailer: A vehicle other than a mobile home or manufactured home, equipped with wheels and normally towed over the road behind a motor vehicle.

Truck Hauling Business: Commercial business pertaining to the parking, storage, and maintenance of commercial vehicles, trailers, and containers. Excludes the storage or redistribution of cargo or freight. (BOCC Resolution 2015-2; January 29, 2015)

Truck Terminal: An area and building where trucks load and unload cargo and freight and where the cargo and freight may be broken down or aggregated into smaller or larger loads for transfer to other vehicles or modes of transportation. Includes service of fuel, fuel oil, and repair of vehicles. (BOCC Resolution 2015-2; January 29, 2015)

Unincorporated Area: That portion of Leavenworth County lying outside an incorporated municipality.

Variance: A variation from a specific requirement in the Zoning Regulations applicable to a specific piece of property.

100-Year (Frequency) Flood: A general and temporary condition of partial or complete inundation of normally dry land areas from the overflow of streams, rivers, or other inland waters, that has a one percent (1%) chance of occurrence during any given year.

ARTICLE 27 (C) – SUBDIVISION STANDARDS (Design Review Required)

(BOCC Resolution 2021-11; March 31, 2021)

Section 1. OVERVIEW

The requirements and standards of this Article support the Planned Development District's Future Land Use Plan. This Article establishes minimum standards so that subdivisions:

1. have street systems, lot layouts, and subdivision improvements that reflect good planning principles, construction practices, incorporate and utilize the surrounding environmental attributes, and;
2. are designed and developed in a manner that demonstrates an understanding of and appreciation for both the near term, and lasting, long-range impacts, that subdivisions have on the health, safety, and general welfare of the public.

Section 2. STREETS AND DRIVEWAYS AND RIGHT-OF-WAY IMPROVEMENTS

1. General Layout and Design Criteria- Existing and New Streets ~~and Driveways~~:

- A. General Street Layout and Design Considerations: A convenient, safe street system is important for the health, safety and welfare of the community and the economic well-being of the County. The County's street system should be designed to provide appropriate routes for through traffic, especially with respect to major nodes of urban development. Ultimately, local streets that serve individual building sites should be interconnected to the network of ~~major high volume and minor low volume collector or~~ arterial streets which primarily provide for the through traffic needs. As areas of the County develop, a pattern of interconnected streets should follow. This street network is particularly important within subdivisions with multiple streets and will become increasingly important upon the area's urbanization and densification.
- B. Environmental Considerations: Street layouts shall attempt to conform to the existing natural topography and shall attempt to avoid the disruption of existing mature vegetation, 100-year flood plains and other significant natural features of the area.
- C. Internal Street Layout Considerations: The location, arrangement, alignment, character, and type of all streets in the subdivision shall:
 - i) Provide for safe and convenient traffic circulation within, and to and from, the subdivision for the uses of the land to be served by such streets.
 - ii) Be arranged so that through traffic is minimized for local streets and so traffic is channeled to Collector streets and to Arterial Streets.
 - iii) Be arranged to facilitate the free flow of traffic and limit potential traffic hazards by providing lots in all Planned Development Districts with access onto local or collector street via driveways; and ~~reducing preventing~~ direct access onto Arterial Streets, and Highways in accordance with the Street Frontage Required per Driveway of ~~this Article's, Section 2.A~~ Article 41 Exhibit C.

- iv) Local or Collector Street layouts shall attempt to serve each subdivision lot or parcel and provide transportation access, and routes for utility service lines.

D. Connectivity and the Relationship of Internal Street Layouts to Adjoining Properties and Streets:

The location, arrangement, alignment, character, and type of streets serving new subdivisions shall be planned and designed:

- i) For the extension of existing dead-end streets except where topography, lakes, streams, Highways, Arterial streets, or other such natural or man-made features would obstruct the provision of through streets.
- ii) For the continuation of existing streets from adjoining subdivisions.
- iii) For streets to be continued to adjoining properties that have not been subdivided.
- iv) To be properly integrated with the existing and planned street system and pattern.
- v) To be continued to the boundaries of the area being subdivided at reasonable intervals that shall be not greater than 1,320 feet so that future-abutting subdivisions may connect therewith.

E. Geometric design and right-of-way requirements for all streets shall be based upon projected future traffic volumes. Additional factors to be considered in the geometric design and right-of-way requirements are as follows:

- i. Topography and physical features
- ii. Design speeds
- iii. Access conditions (controlled access with access opening, turning radius of design vehicles, medians, and pedestrian facilities).

F. Functional Street Classifications: Functional classification is an ordering system that defines the part that any particular road or street plays in serving the flow of vehicle trips through a street network. Functional classification categorizes streets according to their ability to 1) move vehicle traffic, and 2) provide access to adjacent properties.

~~For existing or planned streets within subdivisions, the following functional street classifications and criteria shall apply:~~

- ~~a. Cul-de-sac Streets: Serve individual building lots. Connecting to other Local Streets or Collector Streets is encouraged.~~
- ~~b. Local Streets: Serve individual building lots. Connecting to other Local Streets or Collector Streets is encouraged; however, Local Streets may connect directly to Arterial Street.~~
- ~~e. Collector Streets: Connect Local Streets to Arterial Streets. Direct access from individual building lots is discouraged. Collector Streets are typically located at the 1/4 section, 1/2 section, or 1/3 section lines.~~

~~d. Arterial Streets: Provide for travel between Collector Streets and Highways.~~

~~For each arterial street, whether it is a Major Arterial Street or a Minor Arterial Street, the ultimate pavement width is intended to be two (2) to four (4) lanes for through traffic movements.~~

G. Street Design and Construction and Right-of-way Dedication

~~G. For each arterial street, whether it is a High Volume Arterial Street or a Low Volume Arterial Street, the ultimate pavement width is intended to be two (2) to four (4) lanes for through traffic movements.~~

a. Arterial Streets

a. For each arterial street, whether it is a High Volume Arterial Street or a Low Volume Arterial Street, the ultimate pavement width is intended to be two (2) to four (4) lanes for through traffic movements.

a.b. ~~Proposed~~ Arterial Streets within or adjacent to subdivisions ~~and Lot Splits~~ shall comply with the following requirements:

i) The right-of-way width shall be a minimum of eighty (80) feet.

b. Collector Streets

3.1. ~~Proposed~~ Collector Streets ~~adjacent to Lot Splits or~~ within or adjacent to subdivisions shall comply with the following requirements:

i) The right-of-way width for Collector Streets with curbs shall be a minimum of sixty (60) feet.

ii) The right-of-way width for Collector Streets without curbs shall be a minimum of eighty (80) feet.

c. Local Streets

4.1. ~~Proposed~~ Local Streets ~~adjacent to Lot Splits or~~ within or adjacent to subdivisions shall comply with the following requirements:

i) The right-of-way width shall be a minimum of sixty (60) feet.

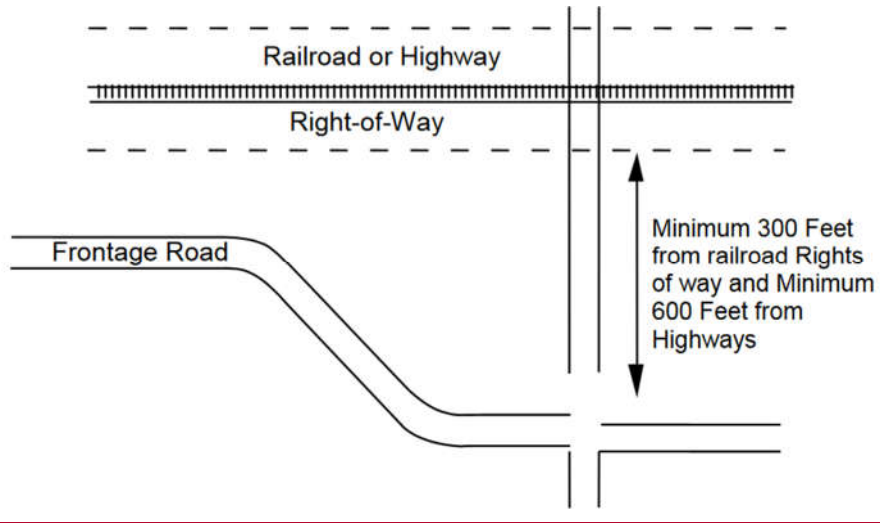
d. Cul-de-sac Streets

1. ~~Dead-end streets, whether temporary or permanent, shall be constructed as cul-de-sac streets. It is recommended, but shall not be required, that temporary dead-end streets may terminate at the boundary of a subdivision. If a cul-de-sac terminates more than 200 feet from the nearest intersection, it shall be a temporary cul-de-sac designed to provide future connection with adjoining un-subdivided areas.~~

2. Cul-de-sac streets shall not be longer than 800 feet measured from the intersecting street right-of-way line to the centerline of the cul-de-sac radius.
3. Unless topography, lakes, streams, Highways, Arterial Streets, railroads or other such natural or man-made features would obstruct the provision of through streets, permanent cul-de-sac streets shall be minimized by laying out the subdivisions to comply with the block length and cul-de-sac street length criteria of these regulations in order to facilitate traffic circulation, utility line interconnections, road maintenance and snow removal.

e. Frontage Roads

1. A Frontage road ~~are~~ is a specific type of internal street pattern and shall be encouraged when access to certain arterial roads are limited or existing geology, topography, floodplain, or other environmental constraints or lot patterns are such that frontage roads are the most feasible way to provide for local traffic service to appropriate access points on the arterial streets. For example, when internal street patterns cannot be arranged to meet the street spacing and road frontage requirements of these regulations, or if the lots cannot be arranged with side lot lines or rear lot lines adjacent to High Volume Arterial Streets or Highways.
2. Frontage roads or other internal street patterns shall be planned and constructed in subdivisions when the number of access points on one side of the Arterial Street would exceed the maximum number that would be allowed by compliance with the minimum Road Spacing requirements mentioned in [Section 2 \(2\) \(A\) of this Article](#)[Article 41 Exhibit C](#).
3. Frontage roads shall not intersect Arterial Streets or Collector Streets at closer intervals than minimum Road Spacing's allowed by [Article 41 Exhibit C](#)[Section 2 \(2\) \(A\) of this Article](#).
4. Frontage roads shall conform to Leavenworth County's approved road construction standards as adopted by the Board of County Commissioners.
5. Frontage roads or other streets that are parallel to railroad or Highway or High Volume Arterial roads rights-of-way shall not intersect streets that cross the railroad or Highway-at-grade unless the frontage road or other parallel street centerline is at least three hundred (300) feet from the closest edge of the railroad or six hundred (600) feet from the closet edge of the Highway right-of-way.



6. Frontage road access points on opposite sides of Arterial Streets shall be aligned to minimize the number of future median openings.

2. Driveways, Intersections, and Frontages Sidewalks and Street Trees

A. Minimum street frontage Required per Driveway in All Planned Districts:

Road Classification	Minimum Street Frontage Required per Driveway	Corner clearance from intersection for driveway entrance:
a.— Highway	Lots shall not have access directly onto a Highway	
b.— County Road One	2640 feet	330 feet
c.— Major Arterial	660 feet	330 feet
Minor Arterial	300 feet	200 feet
d.— Major Collector	300 feet	200 feet
— Minor Collector	200 feet	100 feet
e.— Local	125 feet	100 feet

The minimum Public Road spacing standards for spacing between new public roads intersecting with other public roads (regardless of which government entity maintains the public road) for the purposes of approval of subdivision plats pursuant to the Leavenworth county Subdivision Regulations shall depend upon the road classification of other public road and hereby adopted as follows:

Road Classification	Minimum Public Road Spacing
a.— Major Arterial	5,280 feet
Minor Arterial	2,640 feet
b.— Major Collector	2,640 feet
Minor Collector	2,640 feet
c.— Local	1,320 feet

~~B. Minimum sight distances shall be provided at all intersections and driveways. Minimum sight distances shall be subject to Public Works standards for road type and traffic counts.~~

~~C. Streets shall intersect as nearly as possible at 90-degree angles; no street shall intersect at less than a 75-degree angle.~~

~~D. Street centerlines shall be laid out to meet the following:~~

~~a. Arterial Streets continuing through an intersection shall have a continuous, straight centerline.~~

~~b. Offset intersections shall not be allowed where on Collector Streets that intersect Arterial Streets.~~

~~c. Collector Streets continuing through an intersection shall have a continuous, straight centerline.~~

~~d. Local Streets that intersect a Collector Street shall have either a continuous, straight centerline through the Collector Street right-of-way or shall be offset so that there is at least one hundred fifty (150) feet between the centerlines of the Local Streets. Collector Streets that intersect another Collector Street also shall meet this criterion by having either a continuous, straight centerline through the intersection or by being offset so there is at least one hundred fifty (150) feet between their centerlines.~~

~~E. Cul-de-sac Streets~~

~~a. Dead-end streets, whether temporary or permanent, shall be constructed as cul-de-sac streets. It is recommended, but shall not be required, that temporary dead-end streets may terminate at the boundary of a subdivision. If a cul-de-sac terminates more than 200 feet from the nearest intersection, it shall be a temporary cul-de-sac designed to provide future connection with adjoining un-subdivided areas.~~

~~b. Cul-de-sac streets shall not be longer than 700 feet measured from the intersecting street right-of-way line to the centerline of the cul-de-sac radius.~~

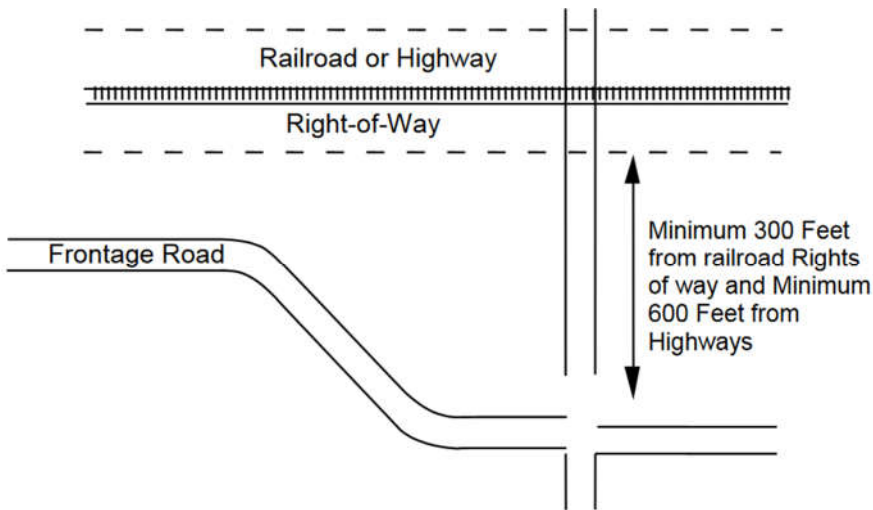
~~c. Unless topography, lakes, streams, Highways, Arterial Streets, railroads or other such natural or man-made features would obstruct the provision of through streets, permanent cul-de-sac streets shall be minimized by laying out the subdivisions to comply with the block length and cul-de-sac street length criteria of these regulations in order to facilitate traffic circulation, utility line interconnections, road maintenance and snow removal.~~

~~F. Frontage Roads~~

~~a. Frontage roads are specific type of internal street pattern and shall be encouraged when access to certain arterial roads are limited or existing geology, topography, floodplain, or other environmental constraints or lot patterns are such that frontage roads are the most feasible way~~

to provide for local traffic service to appropriate access points on the arterial streets. For example, when internal street patterns cannot be arranged to meet the street spacing and road frontage requirements of these regulations, or if the lots cannot be arranged with side lot lines or rear lot lines adjacent to Major Arterial Streets or Highways.

- b. Frontage roads or other internal street patterns shall be planned and constructed in subdivisions when the number of access points on one side of the Arterial Street would exceed the maximum number that would be allowed by compliance with the minimum Road Spacing requirements mentioned in Section 2 (2) (A) of this Article.
- e. Frontage roads shall not intersect Arterial Streets or Collector Streets at closer intervals than minimum Road Spacing's allowed by Section 2 (2) (A) of this Article.
- d. Frontage roads shall conform to Leavenworth County's Road Construction and Storm Water Drainage standards, 1994 Edition or latest editions as approved by the Board of County Commissioners.
- e. Frontage roads or other streets that are parallel to railroad or Highway or Major Arterial roads rights-of-way shall not intersect streets that cross the railroad or Highway at grade unless the frontage road or other parallel street centerline is at least three hundred (300) feet from the closest edge of the railroad or six hundred (600) feet from the closet edge of the Highway right-of-way.



- f. Frontage road access points on opposite sides of Arterial Streets shall be aligned to minimize the number of future median openings.

A. Sidewalks:

1. Sidewalks are required and shall be installed by the developer on one side of all streets in residential subdivisions with a majority of the lots less than one (1) acre in size, and are permitted in all other subdivisions in conformance with the requirements set forth herein. Sidewalks are permitted in all other districts.

2. Sidewalks shall be located within the public right-of-way and shall not be more than one (1) foot from the public right-of-way line of all streets. There shall be a landscaped area at least two (2) feet wide between the sidewalk and curb. If site conditions do not allow for the buffer area and sidewalks must be constructed adjacent to the curbs, the sidewalks shall be constructed as a separate entity to the curb, and at no time shall the two be constructed as a single unit.
3. Sidewalks shall provide for continuous pedestrian access, and also connect abutting properties or subdivisions.
4. Sidewalks shall also be provided as part of the construction of the internal subdivision streets.
5. The minimum width of sidewalks shall be four (4) feet.
6. Sidewalks at street intersections shall be ramped to provide access for physically impaired persons.

B. ~~Street~~ ~~shade~~ ~~T~~rees

Along Arterial and Collector Street rights-of-way adjacent to planned residential subdivisions, or within or adjacent to any commercial or employment center subdivision, new shade trees shall be planted or existing trees shall be kept as follows:

1. One (1) street tree shall be provided for each 100 feet of street frontage within the landscaped setback abutting said street frontage.
2. In addition to the street trees, one ornamental tree per 50 lineal feet and one shrub per 25 lineal feet or portion thereof shall be planted within the setback. Additional trees may be clustered or arranged within the setback if approved as part of the landscape plan.
3. A minimum of 5% of the interior site shall be landscaped.
4. A minimum of 10% of the lot shall be kept as pervious area (green space).

Section 3. MINIMUM LOT DESIGN STANDARDS LAYOUT OF LOTS

A. Planned Residential Subdivisions Lots

1. Within subdivisions of property planned residential district, the lot-depth to lot-width ratios shall not exceed three and a half to one (3.5:1) or be less than one to one (1:1). Within subdivisions of property zoned Planned Residential District, the lot-depth to lot-width ratios for lots ten (10) acres or larger shall not exceed four to one or be less than one to one.
2. Corner lots shall have sufficient depth and width to allow the yard setbacks required in the applicable zoning district to be provided along all street frontages.
3. The minimum lot width required in the zone shall be provided at least at the front building setback line.

4. Double frontage lots shall be avoided unless no other lot arrangement is possible, such as where lots back onto a High Volume Arterial Street. Access for a double frontage lot shall be on the least travelled road. All double frontage lots shall include a restricted access which shall prevent driveway access on the rear lot line.
5. Lots shall be arranged so that surface drainage in swales or channels across residential lots is avoided or is located along side or rear lot lines, unless surface drainage in other locations on the lots is necessary as determined by the County Engineer. Where surface drainage in a swale or channel on a residential lot is necessary, as determined by the County Engineer, drainage easements may be required and the drainage systems in such easements shall be improved in accordance with Leavenworth County's Road Construction and Storm Water Drainage standards, 1994 Edition or latest editions as approved by the Board of County Commissioners. Each residential lot that will have surface drainage in a swale or channel shall be appropriately shaped, sized and dimensioned to provide a buildable area that the County Engineer deems to be appropriate for the subdivision.

B. All Other Planned Districts Subdivisions

1. See Article 50 for Minimum Subdivision Standards.

- a. ~~Within subdivisions of property planned residential district, the lot depth to lot width ratios shall not exceed three and a half to one (3.5:1) or be less than one to one (1:1). Within subdivisions of property zoned Planned Residential District, the lot depth to lot width ratios for lots ten (10) acres or larger shall not exceed four to one or be less than one to one.~~
- b. ~~Corner lots shall have sufficient depth and width to allow the yard setbacks required in the applicable zoning district to be provided along all street frontages.~~
- c. ~~The minimum lot width required in the zone shall be provided at least at the front building setback line.~~
- d. ~~Double frontage lots shall be avoided unless no other lot arrangement is possible, such as where lots back onto a major High Volume Arterial Street. Access for a double frontage lot shall be on the least travelled road. All double frontage lots shall include a non-access easement restricted access which shall prevent driveway access on the rear lot line.~~
- e. ~~Lots shall be arranged so that surface drainage in swales or channels across residential lots is avoided or is located along side or rear lot lines, unless surface drainage in other locations on the lots is necessary as determined by the County Engineer. Where surface drainage in a swale or channel on a residential lot is necessary, as determined by the County Engineer, drainage easements may be required and the drainage systems in such easements shall be improved in accordance with Leavenworth County's Road Construction and Storm Water Drainage standards, 1994 Edition or latest editions as approved by the Board of County Commissioners. Each residential lot that will have surface drainage in a swale or channel shall be appropriately shaped, sized and~~

~~dimensioned to provide a buildable area that the County Engineer deems to be appropriate for the subdivision.~~

ARTICLE 41 – ACCESS MANAGEMENT

Section 1. OVERVIEW

(BOCC Resolution 2018-13; May 29, 2018; BOCC Resolution 2021-18; June 16 2021)

The intent and purpose of the Access Management Policy is to encourage the orderly development of land while maximizing the health, safety and welfare of residents within Leavenworth County. The proposed Access Management Policy shall promote safety within Leavenworth County by assessing the number of access points thereby evaluating the safety of County roadways. The proposed Access Management Policy shall promote current and future development within areas of the County by encouraging the preservation of property which ultimately preserves land for future development. The proposed Access Management Policy shall preserve parcels of land where services can be feasibly provided in the future. Parcels of land which are situated adjacent to and abutting County Arterial and County Local Roads shall be subject to the policies and restrictions set forth in the Access Management Policy. Policies and regulations set forth in the Special Development District and future development districts shall supersede the Access Management Policy for parcels within those districts.

The Access Management Policy provides for the development of land, while protecting and managing current and future access, by allowing access of driveways to parcels which meet the minimum required road frontage. Driveway spacing will be determined by the road classification system.

Those regulations specific to the Access Management Policy would apply to properties only upon development or change of use. The Access Management Policy encompasses all parcels of land which are adjacent to or abutting public and private roadways, with the exception of State-Highways, County Arterial and County Collector.

Section 2. DEFINITIONS

(BOCC Resolution 2021-18; June 16 2021)

1. Development – Any division of the land.
- ~~2. Road Classification System – See Exhibit A~~
- ~~3.2. Public Road Entrance Management Standards – See Exhibit AB~~
3. Public Road Access Management Standards – See Exhibit BC
4. Planned Development District Standards – See Exhibit C

Section 3. ZONING AND SUBDIVISION REGULATIONS

Development of parcels shall be subject to the standards and requirements set forth in the Leavenworth County Zoning and Subdivision Regulations, Sanitary Code and Floodplain Management Ordinance.

Section 4. URBAN GROWTH MANAGEMENT AREAS

Development occurring within 660' feet of an incorporated city limits shall be ~~required to obtain and produce a Certificate of Authorization for access submitted to the local city jurisdiction for review but shall be subject to the regulations outlined here within~~; unless:

1. The incorporated City and County have agreed upon and implemented a separate Access Agreement Policy.

Section 5. VARIANCES

An applicant may apply for a variance to the Access Management Policy. The Board of Zoning Appeals may review and approve a variance on a case-by-case basis according to the criteria set forth in the Leavenworth County Zoning and Subdivision Regulations Article 28 – Board of Zoning Appeals.

Section 6. EXHIBITS

(BOCC Resolution 2021-18; June 16 2021)

EXHIBIT A – Roadway Classification Definitions:

- ~~A. MAJOR – Roadway section with historical vehicle traffic volumes of greater than 1000 vehicles per day (vpd).~~
- ~~B. MINOR – Roadway section with historical vehicle traffic volumes of less than or equal to 1000 vehicles per day (vpd).~~
- ~~C. STATE – Roadway that is maintained by the State of Kansas. All Access Management on state maintained roadways is determined by the State of Kansas~~
- ~~D. ARTERIAL – Roadway that carries longer distance traffic flow between communities and important centers of activity.~~
- ~~E. COLLECTOR – Roadway that carries traffic from local streets to arterial streets~~
- ~~F. LOCAL – Low capacity roadways that carries traffic from interior subdivision roadways to adjacent local, collector, arterial, or state roads~~
- ~~G. INTERIOR SUBDIVISION – Roadways, either public or private, designed as part of a subdivision, built by the developer, to provide access to the residential properties within the subdivision. These roadways are identified as ‘Local Roadways’ or ‘Private Roadways’ on Leavenworth County Classification Map.~~

EXHIBIT AB - Public Road Entrance Management Standards:

1. The minimum entrance spacing standards from adjacent roadways or other adjacent entrances shall be dependent upon the road classification of the roadway being accessed. Spacing is required to be met only along the side of the roadway that is being accessed. Entrance spacing requirements are designated by zoning districts as follows:
 - a. **Residential Entrance Spacing:**

The entrance spacing standards for entrance permits for platted and unplatted residential property onto public roads in the unincorporated areas of Leavenworth County are hereby adopted as follows:

- I. ~~Major~~ High Volume Arterial Roadway: Minimum Required Entrance Spacing = 660 feet
- II. Corner Clearance from Intersection = 330 feet

- III. ~~Minor~~ Low Volume Arterial Roadway: Minimum Required Entrance Spacing = 300 feet
- IV. Corner Clearance from Intersection = 200 feet

- V. ~~Major~~ High Volume Collector Roadway: Minimum Required Entrance Spacing = 300 feet
- VI. Corner Clearance from Intersection = 200 feet

- VII. ~~Minor~~ Low Volume Collector Roadway: Minimum Required Entrance Spacing = 200 feet
- VIII. Corner Clearance from Intersection = 100 feet

- IX. Local/Interior Subdivision Roadway: Minimum Required Entrance Spacing = *See Below
- X. Corner Clearance from Intersection = 100 feet

b. Additional Provisions

- I. Residential Lots fronting upon a roadway classified as a Local Road by the Leavenworth County Classification Map shall access the roadway with an entrance in a location that meets the line of sight requirements generally accepted by engineering standards within the AASHTO Green Book. It is desirable that they be designed and located to meet criteria for intersection sight distance and other design elements set forth. However, where this is not practical, they should be located to provide the best reasonable sight distance and meet other design criteria to the extent practicable.
- II. Lots with frontage on roadways of various road classifications must place their entrance along the roadway with the lower roadway classification. Any lot that abuts a local road and has secondary frontage must utilize the local roadway for its access location. Any lot that abuts two local roadways must utilize the roadway with the lowest traffic volume. All lots that have frontage on interior subdivision roadways must access the property from said interior roadway.
- III. Each Lot is allowed one primary entrance. Lots that are three acres or larger shall be allowed a secondary entrance location. The secondary location must meet the same spacing requirements set forth for the primary entrance location.
- IV. All existing lots are permitted a primary entrance, when possible. In the event that an existing property cannot meet the required spacing as stated in this policy, the entrance shall be located to provide the best reasonable sight distance and meet other design criteria to the extent practicable. No lot shall be created that would require the neighboring property to be accessed by a noncompliant entrance.

c. Business/Industrial Entrance Spacing

The entrance spacing standards for entrance permits for business or industrially zoned properties onto public roads in the unincorporated areas of Leavenworth County are hereby adopted as follows:

I. Arterial Roadway:

- a. Minimum Required Entrance Spacing = 250 feet
- b. Corner Clearance from Intersection = 330 feet

II. Collector Roadway:

- a. Minimum Required Entrance Spacing = 200 feet
- b. Corner Clearance from Intersection = 200 feet

III. Local Roadway:

- a. Minimum Required Entrance Spacing = 125 feet
- b. Corner Clearance from Intersection = 100 feet

EXHIBIT BC - Public Road Access Management Standards

Roadway Spacing:

When it can be avoided, the County does not wish to create minimally offset T intersections. If there is a roadway on the opposite side of the proposed road, effort should be made to create either a 4-way intersection or provide enough spacing between the proposed and existing roadway for car stacking. The minimum spacing, if line of sight is available, between the proposed roadway and the existing roadway shall be no less than 100 feet. If the development must be reduced by more than one lot to meet this requirement, the developer may locate the proposed intersection at the location that provides the greatest distance possible but does not impact the proposed available development size.

The following roadway spacing requirements are to be met only along the side of the roadway that is being accessed. The minimum offset spacing for a new roadway intersection is based upon the highest classification of roadway for either the roadway being accessed or the nearest intersecting roadway. Where there are intersections on either side of the proposed point of access, each intersection will be treated independently and the proposed roadway must meet both roadway spacing requirements. These standards, for purposes of approval of subdivision plats pursuant to the Leavenworth County Subdivision Regulations, are hereby adopted as follows:

Existing Roadway Classification	Minimum Road Spacing (Feet)
State	660
Arterial	660
Collector	660
Local	330
Interior Subdivision	330

Exhibit C – Planned Development District Standards

1. Driveways and Intersections

A. New subdivisions within Planned Development Districts are discouraged from providing a layout that is designed in a manner that requires individual building lot driveways to access non-Local roadways. During development, subdivisions will be prohibited from increasing the number of driveways along collector or arterial roadways and highways from the pre-development condition. Upon written recommendation by both the Director of Public Works and the Director of Planning & Zoning, the Planning Commission may recommend that the Board of County Commissioners grant an exception to the minimum driveway spacing and corner clearance required in accordance with Article 4 by this Exhibit.

<u>Road Classification</u>	<u>Minimum Driveway Spacing</u>	<u>Corner clearance from intersection for driveway entrance.</u>
<u>a. Highway</u>	<u>Lots shall not have access directly onto a Highway without written approval from the State.</u>	
<u>b. High & Low Volume Arterial</u>	<u>660 feet</u>	<u>330 feet</u>
<u>c. High Volume Collector</u>	<u>300 feet</u>	<u>200 feet</u>
<u>d. Low Volume Collector</u>	<u>200 feet</u>	<u>100 feet</u>
<u>e. Local</u>	<u>125 feet</u>	<u>100 feet</u>

B. The minimum Public Road spacing standards for spacing between new public roads intersecting with other public roads (regardless of which government entity maintains the public road) for the purposes of approval of subdivision plats pursuant to the Leavenworth County Subdivision Regulations shall depend upon the road classification of either public road and hereby adopted as follows:

<u>Road Classification</u>	<u>Minimum Public Road Spacing</u>
<u>a. High Volume Arterial</u>	<u>5,280 feet</u>
<u>b. Low Volume Arterial</u>	<u>2,640 feet</u>
<u>c. High Volume Collector</u>	<u>2,640 feet</u>
<u>d. Low Volume Collector</u>	<u>2,640 feet</u>
<u>e. Local</u>	<u>1,320 feet</u>

C. Minimum sight distances shall be provided at all intersections and driveways. Minimum sight distances shall be subject to Public Works standards for road type and traffic counts.

D. Streets shall intersect as nearly as possible at 90-degree angles; no street shall intersect at less than a 75-degree angle.

<u>Road Classification</u>	<u>Minimum Public Road Spacing</u>
<u>a. High Volume Arterial</u>	<u>5,280 feet</u>
<u>a. Low Volume Arterial</u>	<u>2,640 feet</u>

a. High Volume Collector	2,640 feet
a. Low Volume Collector	2,640 feet
a. Local	1,320 feet

~~b. Minimum sight distances shall be provided at all intersections and driveways. Minimum sight distances shall be subject to Public Works standards for road type and traffic counts.~~

~~— Streets shall intersect as nearly as possible at 90-degree angles; no street shall intersect at less than a 75-degree angle.~~

E. ~~SS~~ Street centerlines shall be laid out to meet the following:

- ~~1. Arterial Streets continuing through an intersection shall have a continuous, straight centerline.~~
- ~~2. Offset intersections shall not be allowed where Collector Streets intersect Arterial Streets.~~
- ~~3. Collector Streets continuing through an intersection shall have a continuous, straight centerline.~~
- ~~4. Local Streets that intersect a Collector Street shall have either a continuous, straight centerline through the Collector Street right-of-way or shall be offset so that there is at least one hundred fifty (150) feet between the centerlines of the Local Streets.~~
- ~~5. Collector Streets that intersect another Collector Street also shall have either a continuous, straight centerline through the intersection or by being offset so there is at least one hundred fifty (150) feet between their centerlines.~~

Case No. DEV-21-168
Kane Family Farms
Sign Permit

Staff Report – Planning Commission

December 8, 2021

GENERAL INFORMATION:

Property Owner: Kane Family Farm, LLC
17791 Chieftain Road
Tonganoxie, KS 66086

Legal Description: A tract of land in Section 17, Township 11 South, Range 21 East of the 6th P.M. in Leavenworth County.

Location: 17791 Chieftain Road.

Parcel Size: ± 120 acres

Zoning/Land Use: PR-1, Planned Low Density Residential

Comprehensive Plan: This parcel is within the County Road 1 district.

Parcel ID No.: 194-17-0-00-00-006.00

Planner: Joshua Gentzler

REPORT:

Request

The applicant is requesting approval from the Planning Commission for a Changeable Copy Sign. According to the Zoning and Subdivision Regulations (ZSR), the Planning Commission must review and approve Changeable Copy Sign, according to Article 25.9.18.

Adjacent Land Use

The surrounding land uses include, religious facilities, residences, and farms on varying sized parcels ranging from 0.2 acres to 127 acres in size.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C0301G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Tonganoxie Township
Water: Suburban
Electric: Evergy

Access/Streets

The property is accessed by Highway 24/40 (Chieftain Road). This road is a State Highway with a paved surface ± 30' wide.

Agency Comments

See attached comments – Memo – Lauren Anderson – Public Works, December 3, 2021

Factors to be considered

Applicants may be granted a sign permit for signs otherwise prohibited by Article 25 of the Zoning and Subdivision Regulations if the sign(s) are approved according to the following criteria:

1. *Sign is in character with the surrounding area and will not negatively impact surrounding properties.*

The sign is not internally illuminated and the external illumination should not impact the surrounding properties.

2. *Sign shall not interfere with pedestrian or vehicular safety as determined by the County Engineer.*

The County Engineer has deferred to the Kansas Department of Transportation who has not provided comment. However, there is no sidewalk along Highway 24/40 so the sign will not encumber pedestrian traffic and the sign is located outside of the Right-of-Way.

3. *Sign shall be maintained in a safe and aesthetically pleasant condition.*

The sign is maintained and is not broken.

4. *Sign does not detract from the pedestrian quality of the surrounding area.*

There is little existing pedestrian quality in the area surrounding this property.

5. *Sign shall not contribute to an over-abundance of signs on one property or in an area.*

The sign is the only sign on the property.

6. *To guarantee removal of the sign should it be abandoned or become in a state of disrepair, the owner shall post a bond equal to the cost of removal of the sign.*

Staff has recommended approval of the sign permit contingent on the posting of a bond for the removal of the sign.

Staff Comments

Changeable Copy Signs are permitted only with Planning Commission approval, as per ZSR Article 25.9.18. Without this approval, these signs are prohibited in any zoning district in the County.

According to the applicant, the sign is illuminated with two solar lights that provide light for a limited time past sunset each evening and is placed outside of the Highway 24/40 right-of-way.

The sign will neither negatively impact surrounding properties nor detract from the pedestrian quality of the surrounding area.

STAFF RECOMMENDATION:

Staff recommends approval of Case No. DEV-21-168, Sign Permit for Kane Family Farm, with the following conditions:

1. The property owner shall post a bond equal to the cost of removal of the sign,
2. No signage is allowed in the right-of-way.
3. All signage shall comply with Article 25, Section 4 of the Leavenworth County Zoning and Subdivision Regulations.
4. Any additional lighting for the sign, internal or external, shall be submitted to the Planning and Zoning Department for approval.
5. After approval of this Sign Permit by the Planning Commission, all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days.

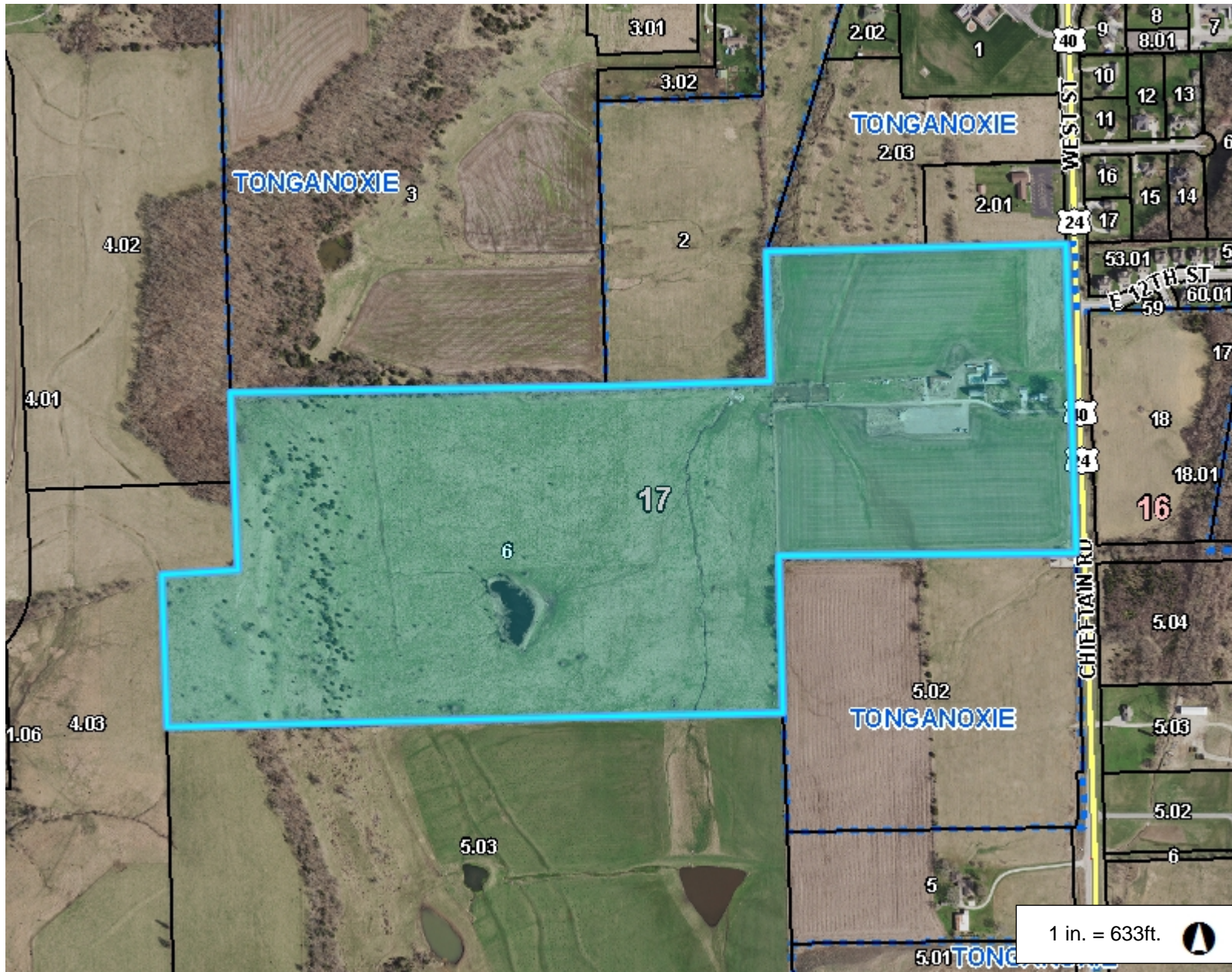
ACTION OPTIONS:

1. Approve Case No. DEV-21-168, Sign Permit for Kane Family Farm, with or without conditions; or
2. Deny Case No. DEV-21-168, Sign Permit for Kane Family Farm, for the following reasons; or
3. Continue the hearing to another date, time, and place.

ATTACHMENTS:

Aerial Map
Application

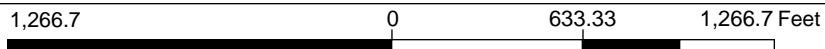
DEV-21-168 Sign Permit - Kane Family Farms



Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
- <all other values>
- 70
- Road
- Railroad
- Section
- Section Boundaries
- County Boundary

1 in. = 633ft.



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes



**Department of Planning and Zoning
Leavenworth County, Kansas**

SIGN PERMIT APPLICATION

Case No: DEV-17-018

OWNER INFORMATION	APPLICANT/CONTRACTOR INFORMATION
Name <u>Kane Family Farm, LLC</u>	Name <u>Same</u>
Address <u>17791 Chieftain Road</u>	Address _____
City/St/Zip <u>Tonganoxie, KS 66086</u>	City/St/Zip _____
Phone <u>913-749-7379</u>	Phone _____
Fax _____	Fax _____
Contact <u>Todd Kane, Director</u>	_____

Parcel ID No: 194-17-0-00-00-006.00 Leavenworth County

Address of Property 17791 Chieftain Road, Tonganoxie, Kansas 66086

*Attach Legal Description (current deed)

See attached Warranty Deed

SIGN SPECIFICATIONS (See Article 25 - Sign Standards – Leavenworth County Zoning and Subdivision Regulations)		
Type of sign	<u>Temporary marquee sign to announce the "event of the day"</u>	
Structural type of sign	<u>Vintage marquee sign mounted to a trailer (see attached photo)</u>	
Maximum sign area (display surface)	<u>32 sq ft</u>	
Structural height	<u>4'-0"</u>	Width <u>8'-0"</u> Area <u>32 sq ft</u>

I, the undersigned, am the (circle one **owner**/fully-authorized agent) of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for a Sign Permit as indicated above.

Signature  Date September 22, 2021

Office Use Only	
Disposition _____	Date _____
Signature _____	Title _____

Doc #: 2016R06477
STACY R. BRISCOLL
REGISTER OF DEEDS
LEAVENWORTH COUNTY
RECORDED ON
07/29/2016 04:06PM
RECORDING FEE: \$26.00

INDEBTEDNESS: 0
PAGES: 2

Kansas Secured Title
866 Northstar Court
Tonganoxie, KS 66086

TX0010724

Warranty Deed
(Statutory)

Somers Holdings, L.L.C., a limited liability company existing under the laws of the State of Kansas, and its principal place of business in the State of Kansas, hereby conveys and warrants to **Kane Family Farms, LLC**

all the following described REAL ESTATE in the County of LEAVENWORTH, and the State of Kansas, to-wit:

Southeast Quarter of the Northeast Quarter and North half of the Northwest Quarter of the Southeast Quarter and the North half of the Northeast Quarter of the Southwest Quarter all in Section 17, Township 11 South, Range 21 East of the 6th P.M., In Leavenworth County, Kansas, less any part thereof taken or used for road purposes

Also commencing at a point on the South line of the Northeast Quarter of Section 17, Township 11 South, Range 21 East of the 6th P.M., in Leavenworth County, Kansas, 20 chains West of the Southeast corner of said Quarter; thence running West 35 chains to a point; thence North 11.45 chains to a point; thence East parallel to the North line of said Section 17, 35 chains to a point; thence South 11.45 chains to a point of beginning, less any part thereof taken or used for road purposes.

for the sum of one dollar and other good and valuable consideration.

EXCEPT AND SUBJECT TO: Easements, restrictions and assessments of record, and all the taxes and assessments that may be levied, imposed or become payable hereafter.

Dated this 29th day of July, 2016.

Somers Holdings, L.L.C., a Kansas limited liability company

By: Florence E. Somers
Name: Florence E. Somers
Title: Manager

State of KANSAS

§

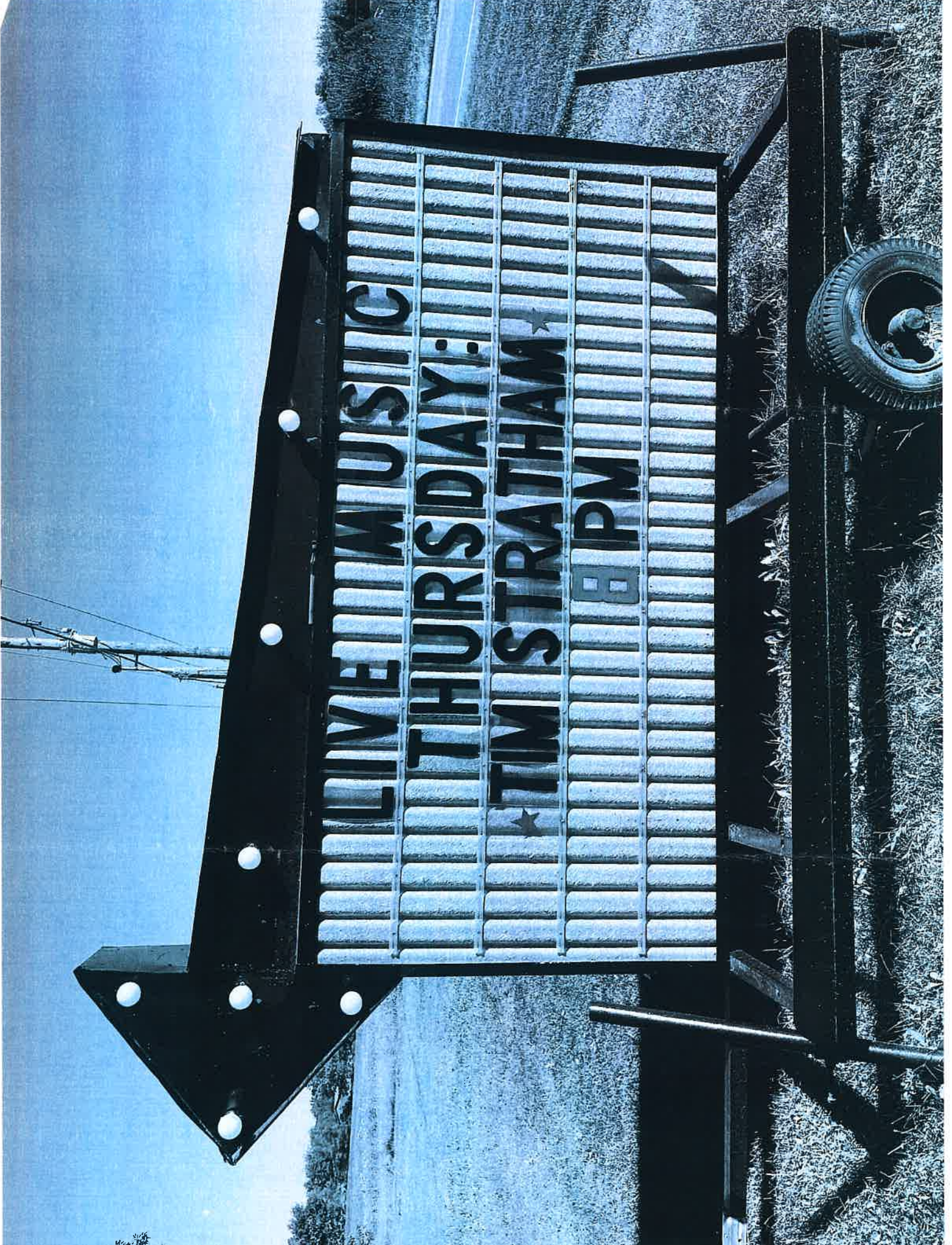
County of LEAVENWORTH

The foregoing instrument was acknowledged before me this 29th day of July, 2016 by **Florence E. Somers, Manager of Somers Holdings, L.L.C., a Kansas limited liability company,** on behalf of said company.



Dawn M. Carver
Notary Public

Appointment expires: 12/17/2017



LIVE MUSIC
THIS THURSDAY!
TIM STRATHAM



Amy Allison, AICP
Deputy Director - Planning & Zoning
Leavenworth County
300 Walnut
Leavenworth, KS 66048

September 22, 2021

Hi Amy,

We received your September 17, 2021 email regarding the noise complaint you received about events we host at Kane Family Farm. We deny the claim that noise provisions of our May 2018 Special Use Permit are being violated. Recent preliminary testing confirms our compliance with the event driven sound restriction of 60dB at the property line. In comparison, traffic noise coming from Highway 24/40, which runs parallel to our East property line, is deafening and constant. Road noises range from 80dB to +100dB in a steady stream nearly 24 hours a day, every day of the year.

We understand this complaint was generated from Jennifer Kohl. Jennifer has spurned every offer we have made to be neighborly and inclusive, including invitations to tour the property; see the development plans; be our guest at public events and to meet her neighbors (over 50 members of her neighborhood attend our events regularly – and they love the experience). We are evermore concerned that Jennifer feels compelled to act as the Kane Family Farm SUP enforcement officer. Her disdain for the Farm along with the many inaccurate, inflammatory and increasingly menacing comments are very disturbing for us and the staff.

We are thankful that we survived as a new business startup, the effects of a worldwide pandemic and the resulting national financial crisis. Over 46,000 guests have visited and enjoyed the Farm since our first public opening in the summer of 2019. We have invested a lifetime of experience and \$3mm of cash into this project since 2017. We are poised to invest an additional \$7mm in the development over the next few years. We now believe it is imperative to complete a new SUP application in advance of the May 2022 expiration date. We look forward to reviewing our expansion plans and demonstrating the many positive impacts Kane Family Farm is having on the local community.

While we respect the role you must play when a complaint is registered, we are discouraged that a single foe, with unsubstantiated claims, can cause such a tremendous expense of energy, time and money. In a perfect world, each of the 46,000 happy guests would take time to write you about their positive experiences at the Farm. We value our relationship with the County and count on your continued support to survive.

We misunderstood that sign permits were for permanent signage and not for the temporary sign that we use to announce the event of the day. Please accept our apology. We attached the completed permit application and check for the \$75 fee. We appreciate your offer of assistance.

Best Regards,


Todd Kane

Enclosure